

4.1 INTRODUCTION

This section of the Rancho San Gorgonio (RSG) Specific Plan has been prepared in accordance with California Government Code Section 65450, et seq. and the City of Banning Zoning Ordinance. This section sets forth standards for all uses allowed for development within the RSG Specific Plan. Regulations are provided for residential uses of varying densities, commercial uses, park uses, and open space land uses. These regulations are based on and help to achieve compliance with the Design Guidelines presented in Section 3 of this Specific Plan.

Application of these regulations is specifically intended to provide for appropriate use of the area within the Specific Plan, to create a well-ordered pattern of development, and to protect the health, safety and welfare of the community.

4.2 GENERAL PROVISIONS

4.2.1 APPLICABILITY

With adoption of the RSG Specific Plan, the development regulations contained in this Section shall serve as the zoning regulations applicable to the Specific Plan area, in accordance with the City of Banning Zoning Ordinance. Development plans, tract or parcel maps, precise development plans or any other action regarding the subject property which requires ministerial or discretionary approval must be consistent with the Specific Plan. Actions deemed to be consistent with the Specific Plan shall be judged consistent with the City of Banning General Plan as mandated in California Government Code, Section 65454.

Should the regulations contained herein differ from the regulations of the City of Banning Zoning Ordinance or Municipal Code, the regulations of this Specific Plan shall take precedence.

Development regulations contained in this Section are subject to a ten percent deviation, subject to the discretion and approval of the Community Development Director.

4.2.2 SEVERABILITY

In the event that any regulations, conditions, program, portion or policy of this Specific Plan or the application thereof to any person or circumstance is held to be invalid or unconstitutional by any court of competent jurisdiction, such portions shall be deemed separate, distinct and independent provisions and shall not affect the validity of the remaining provisions of this Specific Plan or applications thereof which can be implemented without the invalid provision or application.

4.2.3 DETERMINATION OF UNLISTED USES

Any land use not specifically covered by the provisions contained herein shall not be allowed unless the Community Development Director reviews the proposed use and

makes a determination of similarity with allowed uses, subject to Chapter 17.76, Interpretations, of the Banning Zoning Ordinance.

4.2.4 INTERPRETATION

Any ambiguities related to the implementation of this Specific Plan's provisions shall be resolved by the City of Banning Community Development Department. Interpretations of the Department shall take into account the stated goals and intent of the Specific Plan. Any interpretation made by the City of Banning Community Development Department may be appealed to the Planning Commission. The decision(s) of the Planning Commission shall be final unless appealed to the City Council. See subject to Chapter 17.76, Interpretations, of the Banning Zoning Ordinance.

4.2.5 DEFINITIONS

Unless otherwise specified herein, terms used in this document shall be defined as provided in the City of Banning Zoning Ordinance, Section 17.04.070, Definitions.

4.2.6 BOUNDARIES

The boundaries and acreage of the individual planning areas within the Specific Plan are approximate. Precise boundaries and acreages will be established in conjunction with the subdivision map for each village or portions thereof within the project. Minor boundary and acreage variations shall be permitted, subject to review by the Community Development Director or their designee for conformance with the intent of the Specific Plan, without an amendment to this Specific Plan. Chapter 5, *Administration and Implementation*, of this Specific Plan includes a listing of minor modifications and criteria for required amendments to the Specific Plan.

4.2.7 LOCATION AND ADJUSTMENT OF LAND USE DESIGNATIONS

The locations of the land use designations shown on the Land Use Plan of the Specific Plan are approximate and generally follow streets, property lines, natural features and elevation contours. Adjustments to any of the land use designation boundaries are subject to review and approval by the Community Development Director, or their designee and any such requests for adjustment must be made in conjunction with the submittal of a land use application.

Zoning for properties that are adjacent to a street extend to the centerline of the abutting street. Minor changes in boundary alignment and location are permissible with approval by the Community Development Director or their designee. However, the intended character and overall location of the land use designations must be maintained. For example, adjusting a boundary to conform to a precise street alignment instead of a conceptual location would be a logical interpretation of this plan's intent.

4.2.8 AGE QUALIFIED COMMUNITIES

Age-qualified projects (including “continuum of care” communities that include a full range of independent living through skilled nursing) are specifically allowed in Planning Areas 7-A and 7-B of the RSG Specific Plan. Such projects may include additional or different park facilities from that considered in the Specific Plan in keeping with the project’s demographics; such changes shall be delineated in a site plan submittal concurrent with a subdivision map for the development.

4.2.9 GATED COMMUNITIES

Gated communities are permitted within Rancho San Gorgonio subject to site plan/architectural review of the location, design, and rationale for such gating by the City of Banning. Details of gate design must be included in the site plan submittal for any project which includes a gate, and must include adequate stacking distance to avoid backups onto surrounding collectors, adequate turn-around provisions, and adequate emergency access provisions. All roadways within a gated community will be privately owned and maintained by the homeowners association.

4.3 GENERAL SITE DEVELOPMENT CRITERIA

The following general site development criteria shall apply to all land development within the RSG Specific Plan.

4.3.1 GROSS ACREAGE

Except as otherwise indicated, planning area acreages and densities are based upon gross acreages, which include the area for internal local streets and common open spaces.

4.3.2 GRADING

Development within the project site shall utilize grading techniques as approved by the City of Banning. All grading activity pursuant to this section shall be subject to a grading permit issued by the City of Banning.

4.3.3 SUBSEQUENT BUILDING MODIFICATION

Subsequent building modification by homeowners and/or builders, including additions and/or projections into setback areas permitted by the Specific Plan (subject to approval of the applicable Homeowners Association and the City of Banning, including the obtaining of any required City permits), shall match the architectural style of the primary unit and shall be constructed of the same materials and colors as the primary unit and/or in context with the overall Design Guidelines.

4.3.4 UTILITIES

All new public utility distribution lines shall be placed underground throughout the Specific Plan area. Water, reclaimed water, sewer, and storm drain utilities may be designated as “public utilities” if located within public streets. Public utilities within private streets shall be designed to City/agency standards and contained within applicable easements.

4.3.5 DEVELOPMENT INTENSITY

The RSG Specific Plan allocates a targeted number of dwelling units to each planning area by residential category as indicated in Table 2-2, included in Section 2.1, *Land Use Plan*. Variations in the number and type of dwelling units within each residential planning area may occur at the time of final design depending upon the residential project identified for development. Decreases or increases in allocation of residential units up to but not exceeding the maximum density allowed for a planning area as specified in Section 2.1 are permitted within the Specific Plan provided the total number of units established in this specific plan is not exceeded. The maximum number of residential dwelling units permitted within the Specific Plan shall be 3,385 dwelling units. Provisions for transfer of residential units between planning areas and villages are outlined in Section 5, *Implementation and Administration*, of this Specific Plan.

4.3.6 RV PARKING

The Master Developer of the Rancho San Gorgonio community may provide for RV parking (which may include boats, RVs, trailers for private use) through a variety of mechanisms, including:

- ❖ On an individual lot of a minimum of 6,000 square feet, by maintaining a minimum 12 feet unobstructed side yard setback area on select lots within the Low or Very Low Density Residential areas. The RV parking area must be gated, and the vehicle must be parked behind the front setback.
- ❖ Within an individual village or planning area with separate designated parking spaces for RVs in common areas, or as a conditional use associated with mini-storage. Six foot high perimeter walls shall be required and will be screened with landscaping.

4.3.7 PROJECTIONS INTO REQUIRED YARDS

The following encroachments into required yards (building setbacks) shall be permitted in residential districts:

- ❖ Outside patios, porches, or landing places, if unroofed and unenclosed, may extend into a required side yard or required rear yard, subject to standard

Building Code requirements, and unless otherwise specified in this Section of the Specific Plan.

- ❖ Outside unenclosed stairways, cornices, awnings, canopies, roof overhangs, eaves, fireplaces, bay windows, or other similar architectural features not providing additional floor space within the building may project two (2) feet into the required setback, subject to standard Building Code requirements.
- ❖ One pergola or one covered but unenclosed landing may extend into either side yard, provided that its other horizontal dimension shall not exceed twenty (20) feet.
- ❖ Attached patio covers and trellises or combination thereof may extend into half of the required rear yard setback and not less than five (5) feet from the rear property line or rear wall or fence, unless otherwise specified in this Section of the Specific Plan.

4.3.8 HEIGHT

- a. Building height shall be measured from the adjacent finished grade to the roof ridgeline for residential structures and the roof parapet for commercial structures. Rooflines must be appropriate to the architectural style.
- b. For homes built on sloping topography, building height shall be measured from finished grade on the downslope side of the building.
- c. Architectural features such as, but not limited to, weather vanes, chimneys, etc. as are appropriate to the architectural style of the home may extend in height above the stated Building Height of the Primary Structure, subject to architectural review.

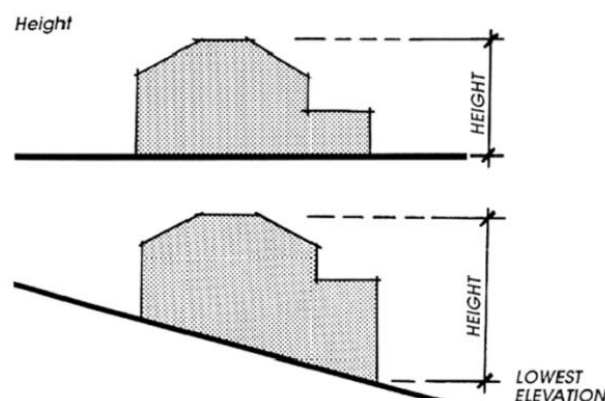


Figure 4-1 Building Height

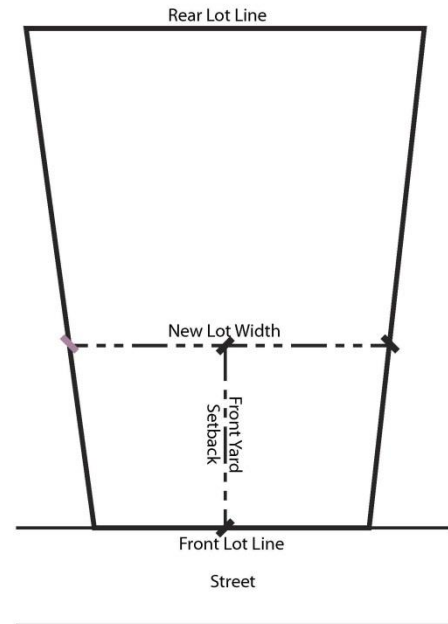
4.3.9 LOT WIDTH

Lot width shall be measured at the front yard setback for main residences.

4.3.10 INTERIM USES

The following interim or temporary uses may be permitted in any planning area ultimately planned for development uses prior to its entitlement for its primary permitted use. Interim uses are not permitted in areas proposed as open space.

- a. The growing of field crops, trees, vegetables, fruits, berries and nursery stock, including wholesaling of crops produced upon the premises subject to approval of a conditional use permit.
- b. Stockpiling of soil for use in subsequent phases as part of a grading permit approval.
- c. Festivals or fairs subject to approval of a special event permit.
- d. Construction staging, including materials storage lots for construction projects, temporary parking, and construction trailers, subject to administrative approval of a Construction Management Plan and temporary use permit.
- e. Farmers Markets subject to approval of a Special Event Permit.
- f. Christmas tree lots, pumpkin patches and similar seasonal uses subject to the provisions of Section 17.48.120 of the Zoning Code.
- g. Temporary parking lots pursuant to Section 17.48.100 of the Zoning Code.
- h. Project information Centers/Sales Centers/Model Complex, subject to administrative review of a building permit and agreement letter.



4.4 RESIDENTIAL DEVELOPMENT STANDARDS

The residential development standards and product types included herein are intended to establish the minimum acceptable design parameters. All standards and product types must be consistent with the intent of the RSG Specific Plan.

There are five classifications of residential land uses in the Specific Plan:

- ❖ Very Low Density Residential (VLDR): The density range is from 0 to 2.5 du/ac.
- ❖ Low Density Residential (LDR): The density range is 2.6 to 6.0 du/ac.
- ❖ Medium Density Residential (MDR): The density range is from 6.1 to 12.0 du/ac.
- ❖ Medium-High Density Residential (MHDR): The density range is from 12.1 to 18.0 du/ac.

The following product types are allowed in the project area:

Single-family conventional detached units are typically set back from the street with street front orientation where primary entries and walks face the street, and have private rear and side yards. Garages are in the front or side and face the street with driveways. Resident parking spaces are provided in garages and guest parking spaces are provided in driveways or on local streets.

Single-family alley loaded detached units are typically set back from the street with street front orientation where primary entries and walks face the street, and have private rear and side yards. Automobile access to rear facing garages is via a private common alley at the rear of the lot. Resident parking spaces are provided in garages and guest parking spaces are provided in on the local streets.

Detached cluster units, including the following:

Motor court cluster units are single-family detached dwellings clustered around a motor court. The product typically includes four to eight units. Primary entries and walks face either the motor court or the street. Private outdoor living space can occur in side and rear yards. Automobile access is via private motor courts or street. Resident parking spaces are provided in garages and guest parking spaces provided on private lanes, public or private local streets or designated on-site parking spaces.

Green court cluster units are single-family detached dwellings surrounding a green court or open space. The product typically includes four to eight units. Primary entries and walks face green court or open space. Reciprocal use easements may extend private spaces on sides of buildings. Automobile access is via alley or street. Resident parking spaces are provided in garages and guest parking spaces are provided on local streets or designated parking spaces.

Stub street cluster units are single-family detached dwellings oriented on a short stub street. The product typically includes four to eight units. Resident parking spaces are

provided in garages and guest parking spaces are provided on the street or in a common parking area.

Duplex lots are two (2) single-family attached homes with primary entries and walks facing the street or community paseo. Private outdoor living space can occur in front, rear and/or side yards. Automobile access is via street or alley. Resident parking spaces are provided in garages and guest parking spaces are provided in driveways, on local streets or in designated parking areas. Nature of this product type functions typically more like a single-family unit.

Row townhomes are single-family attached homes with primary entries facing street or common open space. The units have private outdoor living space. Automobile access is via an alley or private street. Resident parking spaces are provided in garages, and guest parking spaces are provided on public or private local streets or in designated parking areas.

Attached cluster are attached homes organized around the motor court or open space. Homes enter from the street, motor court, green court or paseo. The units have private outdoor living space. Automobile access is via the street, alley or motor court. Resident parking spaces are provided in garages, and guest parking spaces are provided on local streets or in designated parking areas.

Multi-Family flat are attached multi-family homes with entries from common open space. Automobile access is via an alley or private drive. Resident parking spaces are provided in garages or designated on-site parking spaces, and guest parking spaces are provided on local streets or in designated parking areas.

4.4.1 PRODUCT TYPE ALLOCATION

Table 4-1: Product Type Allocation				
Product Type	Density Range			
	Very Low 0-2.5 du/ac	Low 2.6-6.0 du/ac	Medium 6.1-12.0 du/ac	Medium High 12.1-18.0 du/ac
Single Family Conventional Detached	P	P	P	
Single Family Alley-loaded Detached		P	P	
Detached Cluster		P	P	
Duplex			P	P
Row Townhome			P	P
Attached Cluster			P	P
Multi-Family Flat				P
NOTE: P=Permitted, otherwise not permitted if not marked.				

4.4.2 PERMITTED USES

Table 4-2: Residential Permitted, Conditional, & Permitted Land Uses Planning Areas – VLDR 1; LDR 2A, 2B, 2C, 3A, 3B, 3C, 3D, 4A, 4B, 4C, 4D, 5A, 5B, 5C, 5D, 5E, 5F, 6A, 6B, 6C, 6D; MDR 7A, 7B; MHDR 8A, 8B, 8C, 8-D				
Uses	VLDR	LDR	MDR	MHDR
Residential Uses				
Assisted Living Facility	C	C	P	C
Bed & Breakfast	X	X	C	C
Community Care Facility	C	C	P	C
Condominiums	X	P	P	P
Day Care Home	C	C	C	C
Homeless Shelters	X	X	X	X
Multi-Family Dwellings	X	X	P	P
Nursing Home & Congregate Care	C	C	C	C
Planned Unit Development	P	P	P	P

Table 4-2: Residential Permitted, Conditional, & Permitted Land Uses Planning Areas – VLDR 1; LDR 2A, 2B, 2C, 3A, 3B, 3C, 3D, 4A, 4B, 4C, 4D, 5A, 5B, 5C, 5D, 5E, 5F, 6A, 6B, 6C, 6D; MDR 7A, 7B; MHDR 8A, 8B, 8C, 8-D (cont.)				
Residential Care Facilities	C	C	C	C
Second Dwelling Unit	P	C	C	X
Single Family Dwelling	P	P	P	P
Equestrian Uses				
Stables, Private	P	X	X	X
Stables, Commercial	C	X	X	X
Tack & Feed Stores	X	X	X	X
Veterinary Offices and Hospitals	X	X	X	X
Agricultural Uses				
Grazing of Animals (temporary until developed)	P	P	P	P
Kennels and Catteries, Commercial	X	X	X	X
Locally Adaptive Farming	P	X	X	X
Factory Farms with Genetic Monocultures	X	X	X	X
Recreational Uses				
Clubhouses/Community Centers	C	C	P	P
Golf Courses and Related Facilities	X	X	X	X
Swimming Pool/Sports Club (common use)	C	C	P	P
Parks, Sports Courts and Fields (private & common use)	C	C	P	P
Accessory Uses				
Telecommunications Antennae	X	X	X	X
Rooftop Solar Energy/Water Heating Panels	P	P	P	P
In-Garage Electric/Compressed Natural Gas Fueling Station	P	P	P	P
Garages ³	P	P	P	P
Other Uses				
Cemeteries	X	X	X	X
Churches	C	C	C	C
Fire Stations	P	P	P	P
Utility Facilities	C	C	C	C
Schools	C	C	C	C
Neighborhood Oriented Retail Stores ⁴	X	X	C	C
Temporary Uses ⁵	T	T	T	T

NOTES:

¹ Use Code = Permitted (P); Subject to Conditional Use Permit (C); Prohibited (X) and Temporary (T).

³ Intended for vehicles storage only, except in excess of the parking required under Chapter 17.28 of the Banning Zoning Ordinance.

⁴ Defined in the Banning General Plan as consisting of "corner store" type development such as convenience stores, grocery or green grocer, video rental, drug stores, sit down restaurants, coffee shops or coffee or similar uses, less than 5,000 SF in total square footage.

⁵ Temporary uses require a Temporary Use Permit, subject to the requirements of Chapter 17.108 of the Banning Zoning Ordinance, as modified by this Specific Plan, Section 4.3.11.

4.4.3 VERY LOW DENSITY RESIDENTIAL (VLDR)

DESCRIPTION

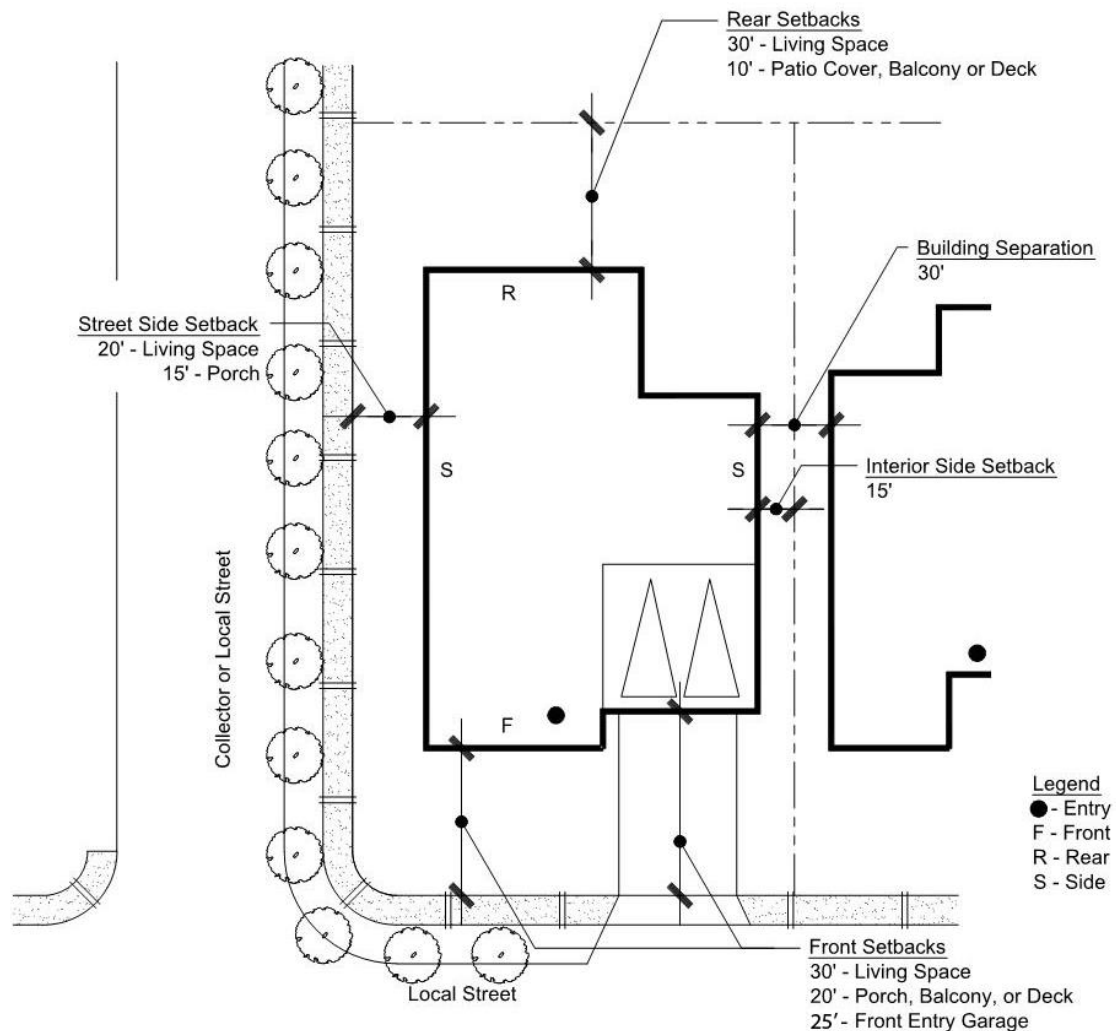
The VLDR residential use will include single-family detached products with minimum lot size of 20,000 square feet that allow equestrian uses. The areas designated Very Low Density Residential on the Specific Plan Land Use Plan consist of Planning Area 1.

DEVELOPMENT STANDARDS

Table 4-3 standards are applicable to Very Low Density Residential-designated Planning Area 1.

Table 4-3 below establishes standards for lot dimensions, building setbacks and height, design variation and parking for Specific Plan's Very Low Density Residential homes.

Table 4-3: VLDR Residential Uses Development Standards	
Maximum Density Range	0-2.5 du/ac
Minimum Lot Area	20,000 sq.ft.
Maximum Building Coverage	30% two-story; 50% all one-story
Minimum Lot Width	
Interior	60'
Street	65'
Maximum Building Height	
Main Structure	35' (Max. 2 stories)
Minimum Front Yard Setback (measured from the property line)	
Living Space	30'
Porch, Balcony or Deck	20'
Garage	25'
Minimum Side Yard Setback	
Interior	15'
Street	20' from living space to the street; 15' from Porch to the street
Minimum Rear Yard Setback	
Living Space	30'
Patio Cover, Balcony or Deck	10'
Projections into Setbacks	Per Section 4.3.8 of the Specific Plan
Minimum Building Separation	30'
Parking	
Resident	2 spaces per unit within a garage
Guest	Provided on driveway or street
Others	
Corrals, fenced enclosures, barns, stables, or other enclosures used to confine horses	Minimum 20' setbacks from the P/L



Notes:

- Refer to section 4.4 for specific development standard criteria and dimensions.
- All front and corner side setbacks are measured from back of sidewalk, back of curb, or back of pavement if there is no curb or sidewalk. All other setbacks are measured from PL unless otherwise noted.

Figure 4-2 VLDR Single Family Conventional - Illustrative Plot

4.4.4 LOW DENSITY RESIDENTIAL (LDR)

DESCRIPTION

The LDR residential use will include single-family detached products and detached clusters. The areas designated Low Density Residential on the Specific Plan Land Use Plan consist of Planning Areas 2-A, 2-B, 2-C, 3-A, 3-B, 3-C, 3-D, 4-A, 4-B, 4-C, 4-D, 5-A, 5-B, 5-C, 5-D, 5-E, 5-F, 6-A, 6-B, 6-C and 6-D.

DEVELOPMENT STANDARDS

Table 4-4 below establishes standards for Planning Area 6-A, 6-B, 6-C and 6-D in the LDR designation that require a minimum lot area of 4,500 square feet.

Table 4-4: LDR Residential Uses Development Standards - 4500	
Maximum Density Range	2.6-6.0 du/ac
Minimum Lot Area	4,500 sq.ft..
Maximum Building Coverage	50% two-story; 70% all one-story
Minimum Lot Width	
Interior	45'
Corner	50'
Maximum Building Height	
Main Structure	35' (Max. 2 stories)
Minimum Front Yard Setback (measured from the property line)	
Living Space	20'
Porch, Balcony or Deck	15'
Garage	5'-8' or 19'+ (cars may be parked on the driveways and they shall not hang over the sidewalks)
Minimum Side Yard Setback	
Interior	5'
Street	10' from living space to the street; 5' from Porch to the street
Minimum Rear Yard Setback	
Living Space	15'
Patio Cover, Balcony or Deck	5'
Garage	5'

Table 4-4: LDR Residential Uses Development Standards – 4500 (cont.)	
Projections into Setbacks	Per Section 4.3.8 of the Specific Plan
Minimum Building Separation	
Side to Side	10'
Garage to Garage (alley loaded)	30'
Parking	
Resident	2 spaces per unit within a garage
Guest	Provided on driveway or street

Table 4-5 below establishes standards for Planning Areas 5-A, 5-B, 5-C, 5-D, 5-E and 5-F in the LDR designation that require a minimum lot area of 5,000 square feet.

Table 4-5: LDR Residential Uses Development Standards - 5000	
Maximum Density Range	2.6-6.0 du/ac
Minimum Lot Area	5,000 sq.ft.
Maximum Building Coverage	50% two-story; 70% all one-story
Minimum Lot Width	
Interior	45'
Corner	50'
Maximum Building Height	
Main Structure	35' (Max. 2 stories)
Minimum Front Yard Setback (measured from the property line)	
Living Space	20'
Porch, Balcony or Deck	15'
Garage	5'-8' or 19'+ (cars may be parked on the driveways and they shall not hang over the sidewalks)
Minimum Side Yard Setback	
Interior	5'
Street	10' from living space to the street; 5' from Porch to the street
Minimum Rear Yard Setback	
Living Space	15'
Patio Cover, Balcony or Deck	5'
Garage	5'
Projections into Setbacks	Per Section 4.3.8 of the Specific plan
Minimum Building Separation	
Side to Side	10'
	30'
Parking	
Resident	2 spaces per unit within a garage
Guest	Provided on driveway or street

Table 4-6 below establishes standards for Planning Areas 4-A, 4-B, 4-C and 4-D in the LDR designation that require a minimum lot area of 5,500 square feet.

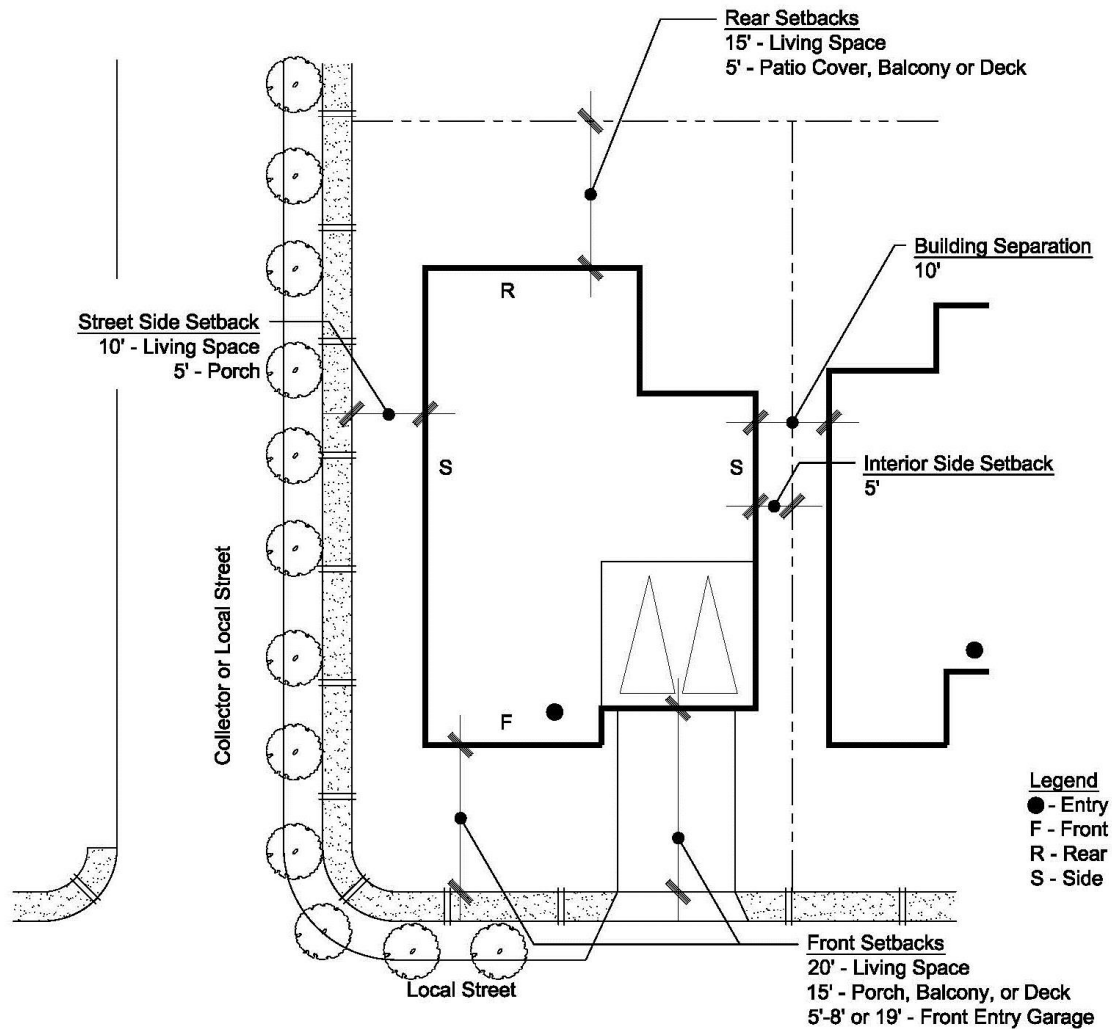
Table 4-6: LDR Residential Uses Development Standards - 5500	
Maximum Density Range	2.6-6.0 du/ac
Minimum Lot Area	5,500 sq.ft.
Maximum Building Coverage	50% two-story; 70% all one-story
Minimum Lot Width	
Interior	50'
Corner	55'
Maximum Building Height	
Main Structure	35' (Max. 2 stories)
Minimum Front Yard Setback (measured from the property line)	
Living Space	20'
Porch, Balcony or Deck	15'
Garage	5'-8' or 19'+ (cars may be parked on the driveways and they shall not hang over the sidewalks)
Minimum Side Yard Setback	
Interior	5'
Street	10' from living space to the street; 5' from Porch to the street
Minimum Rear Yard Setback	
Living Space	15'
Patio Cover, Balcony or Deck	5'
Garage	5'
Projections into Setbacks	Per Section 4.3.8 of the Specific Plan
Minimum Building Separation	
Side to Side	10'
Garage to Garage (alley loaded)	30'
Parking	
Resident	2 spaces per unit within a garage
Guest	Provided on driveway or street

Table 4-7 below establishes standards for Planning Areas 3-A, 3-B, 3-C and 3-D in the LDR designation that require a minimum lot area of 6,000 square feet.

Table 4-7: LDR Residential Uses Development Standards - 6000	
Maximum Density Range	2.6-6.0 du/ac
Minimum Lot Area	6,000 sq.ft.
Maximum Building Coverage	50% two-story; 70% all one-story
Minimum Lot Width	
Interior	50'
Corner	55'
Maximum Building Height	
Main Structure	35' (Max. 2 stories)
Minimum Front Yard Setback (measured from the property line)	
Living Space	20'
Porch, Balcony or Deck	15'
Garage	5'-8' or 19'+ (cars may be parked on the driveways and they shall not hang over the sidewalks)
Minimum Side Yard Setback	
Interior	5'
Street	10' from living space to the street; 5' from Porch to the street
Minimum Rear Yard Setback	
Living Space	15'
Patio Cover, Balcony or Deck	5'
Garage	5'
Projections into Setbacks	Per Section 4.3.8 of the Specific Plan
Minimum Building Separation	
Side to Side	10'
Garage to Garage (alley loaded)	30'
Parking	
Resident	2 spaces per unit within a garage
Guest	Provided on driveway or street

Table 4-8 below establishes standards for Planning Areas 2-A, 2-B and 2-C in the LDR designation that require a minimum lot area of 7,000 square feet.

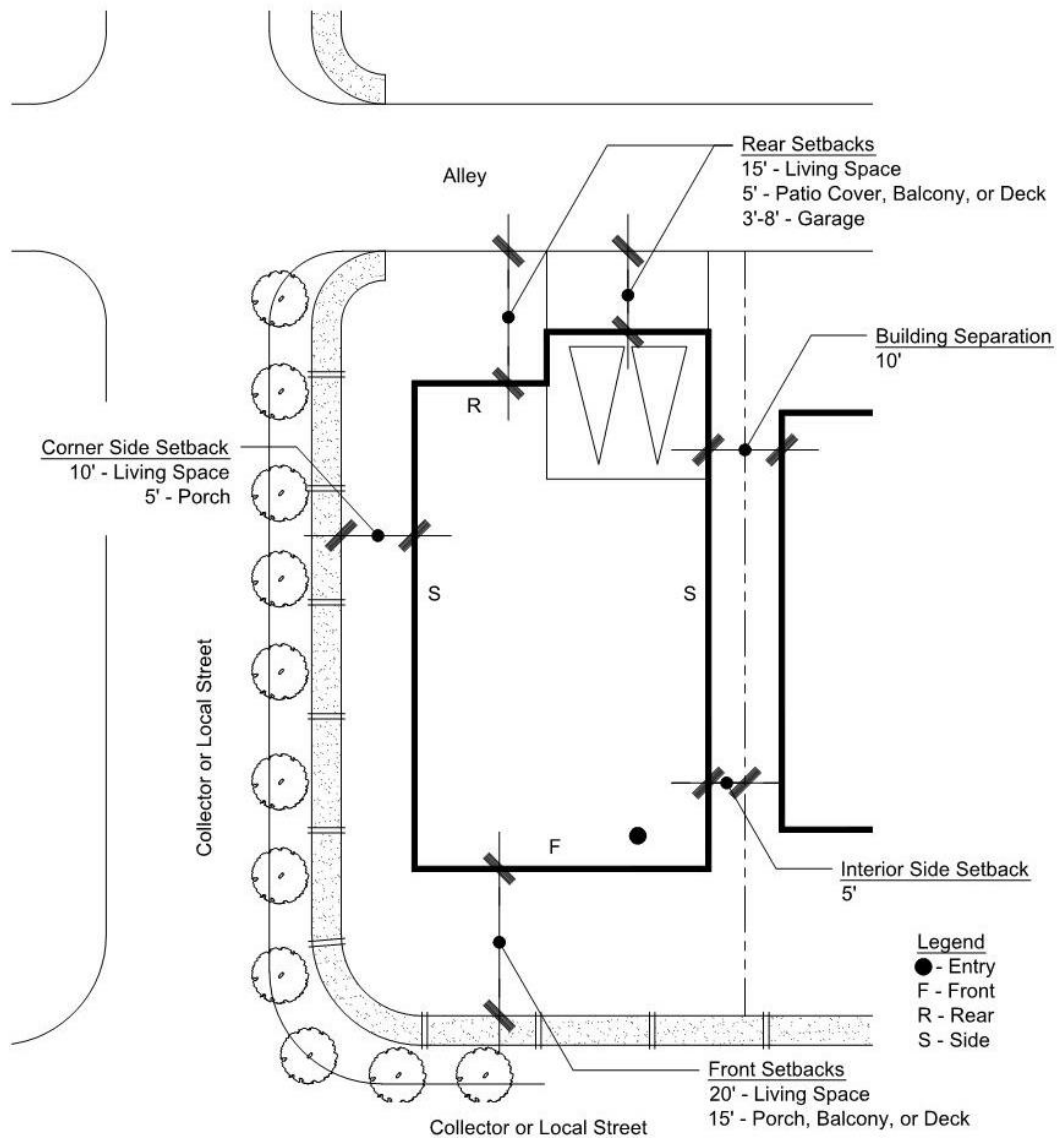
Table 4-8: LDR Residential Uses Development Standards - 7000	
Maximum Density Range	2.6-6.0 du/ac
Minimum Lot Area	7,000 sq.ft.
Maximum Building Coverage	50% two-story; 70% all one-story
Minimum Lot Width	
Interior	55'
Corner	60'
Maximum Building Height	
Main Structure	35' (Max. 2 stories)
Minimum Front Yard Setback (measured from the property line)	
Living Space	20'
Porch, Balcony or Deck	15'
Garage	5'-8' or 19'+ (cars may be parked on the driveways and they shall not hang over the sidewalks)
Minimum Side Yard Setback	
Interior	5'
Street	10' from living space to the street; 5' from Porch to the street
Minimum Rear Yard Setback	
Living Space	15'
Patio Cover, Balcony or Deck	5'
Garage	5'
Projections into Setbacks	Per Section 4.3.8 of the Specific Plan
Minimum Building Separation	
Side to Side	10'
Garage to Garage (alley loaded)	30'
Parking	
Resident	2 spaces per unit within a garage
Guest	Provided on driveway or street



Notes:

- Refer to section 4.4 for specific development standard criteria and dimensions.
- All front and corner side setbacks are measured from back of sidewalk, back of curb, or back of pavement if there is no curb or sidewalk. All other setbacks are measured from PL unless otherwise noted.

Figure 4-3 LDR Single Family Conventional –Illustrative Plot



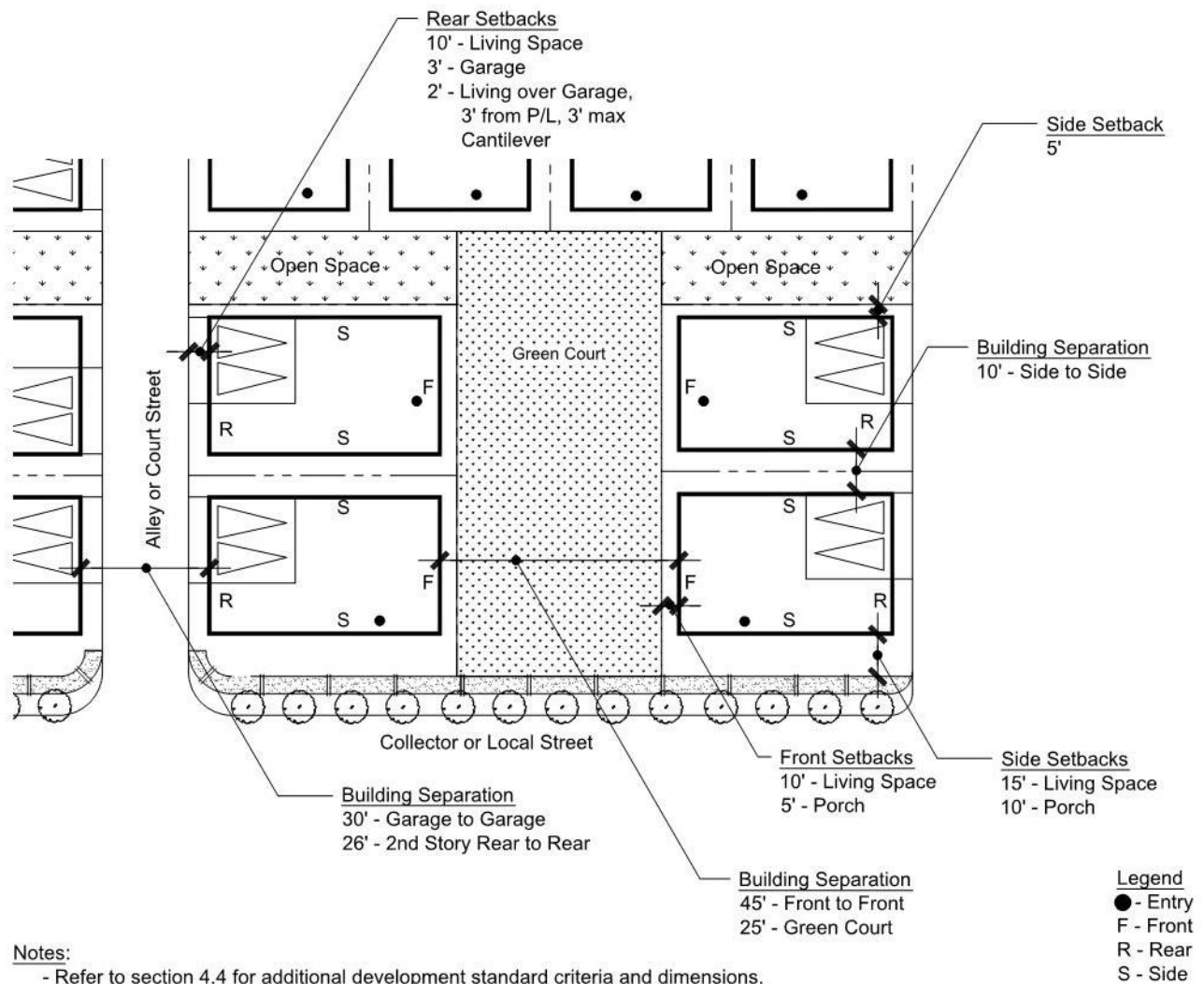
Notes:

- Refer to section 4.4 for specific development standard criteria and dimensions.
- All front and corner side setbacks are measured from back of sidewalk, back of curb, or back of pavement if there is no curb or sidewalk. All other setbacks are measured from PL unless otherwise noted.

Figure 4-4 LDR Single Family Alley-loaded – Illustrative Plot

Table 4-9 below establishes standards for the Green Court Cluster product in Planning Areas 6-A, 6-B, 6-C and 6-D in the LDR designation that require a minimum lot area of 4,500 square feet.

Table 4-9: LDR Residential Uses Development Standards – Green Court Cluster	
Maximum Density Range	2.6-6.0 du/ac
Minimum Lot Area	4,500 square feet
Minimum Lot Width	40'
Minimum Lot Depth	70'
Minimum Common Open Space	150 sq.ft. per unit with a minimum 15' dimension
Minimum Private Open Space	150 square feet with a minimum 10' dimension
Maximum Building Height	
Main structure	35'
Front Yard Setback	
Living - to the back of the green court	10'
Porch - to the back of the green court	5'
Street-side Yard Setback	
Living - (front entry) to back of sidewalk	15'
Side - to open space	5'
Porch - to the back of sidewalk	10'
Rear Yard Setback - to alley edge	
Living	10'
Garage face to Alley (Apron)	3'
Living over garage	2' minimum, minimum 3' from a P/L, 3' maximum cantilever
Projections into Setbacks	Per Section 4.3.8 of the Specific Plan
Minimum Building Separation	
Front to front (entries) - at green court	45' (minimum 25' dimension for Green Court)
Side to side (no entries)	10'
2nd - story living rear to rear at alley	26'
Garage door to door at alley	30'
Parking	
Resident	2 spaces per unit within a garage
Guest	.33 spaces per unit



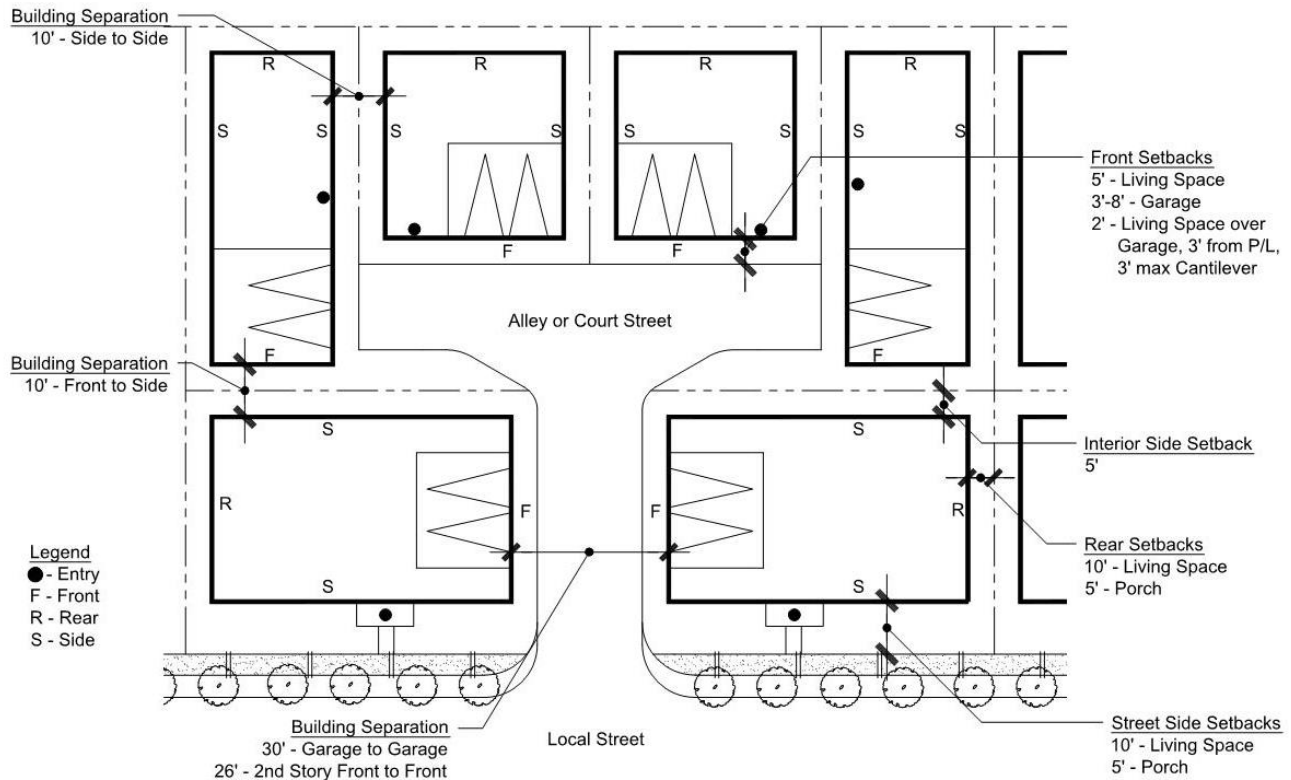
Notes:

- Refer to section 4.4 for additional development standard criteria and dimensions.
- Diagram is conceptual and shown for reference purposes only. Final building footprints and layout will vary.
- If any discrepancy occurs between diagram and table, then table shall prevail.

Figure 4-5 LDR Green Court Cluster - Illustrative Plot

Table 4-10 below establishes standards for the Motor Court Cluster in Planning Areas 6-A, 6-B, 6-C and 6-D in the LDR designation that require a minimum lot area of 4,500 square feet.

Table 4-10: LDR Residential Uses Development Standards – Motor Court Cluster	
Maximum Density Range	2.6-6.0 du/ac
Minimum Lot Area	4,500 square feet
Minimum Lot Width	40'
Minimum Lot Depth	70'
Maximum Building Height	
Main structure	35'
Minimum Common Open Space	150 sq.ft. per unit with a minimum 15' dimension
Minimum Private Open Space	300 square feet with a minimum 10' dimension
Front Setback (From Alley or Court Street)	
Living	5'
Garage	3'-8'
Living over garage	2' minimum, minimum 3' from a P/L, 3' maximum cantilever
Street-side Yard Setback	
Living - to back of sidewalk	10'
Living - to P/L	5'
Porch - to back of sidewalk	5'
Rear Yard Setback - to P/L	
Living	10'
Porch	5'
Projections into Setbacks	Per Section 4.3.8 of the Specific Plan
Minimum Building Separation	
Front to side (no entries)	10'
Side to side (no entries)	10'
2nd - story front to front living	26'
Garage door to garage door	30'
Parking	
Resident	2 spaces per unit within a garage
Guest	.33 spaces per unit



Notes:

- Refer to section 4.4 for additional development standard criteria and dimensions.
- Diagram is conceptual and shown for reference purposes only. Final building footprints and layout will vary.
- If any discrepancy occurs between diagram and table, then table shall prevail.

Figure 4-6 LDR Motor Court Cluster- Illustrative Plot

Table 4-11 below establishes standards for the Stub Street Court Cluster in Planning Areas 6-A, 6-B, 6-C and 6-D in the LDR designation that require a minimum lot area of 4,500 square feet.

Table 4-11: LDR Residential Uses Development Standards – Stub Street Court Cluster	
Maximum Density Range	2.6-6.0 du/ac
Minimum Lot Area	4,500 square feet
Minimum Lot Width	40'
Minimum Lot Depth	70'
Maximum Building Height	
Main structure	35'
Minimum Common Open Space	150 sq.ft. per unit with a minimum 15' dimension
Minimum Private Open Space	300 square feet with a minimum 10' dimension
Front Setback - to alley	
Living	15'
Porch	10'
Garage	5'-8' or 19'+ (cars may be parked on the driveways and they shall not hang over the sidewalks)
Side Yard Setback	
Interior	5'
Street	10'
Rear Yard Setback	
Interior	15' for living space, 10' for deck
Street	15' for living space, 10' for deck
Projections into Setbacks	Per Section 4.3.8 of the Specific Plan
Minimum Building Separation	
Building to building (side to side)	10'
Building to building (rear to rear)	30'
Parking	
Resident	2 spaces per unit within a garage
Guest	.33 spaces per unit

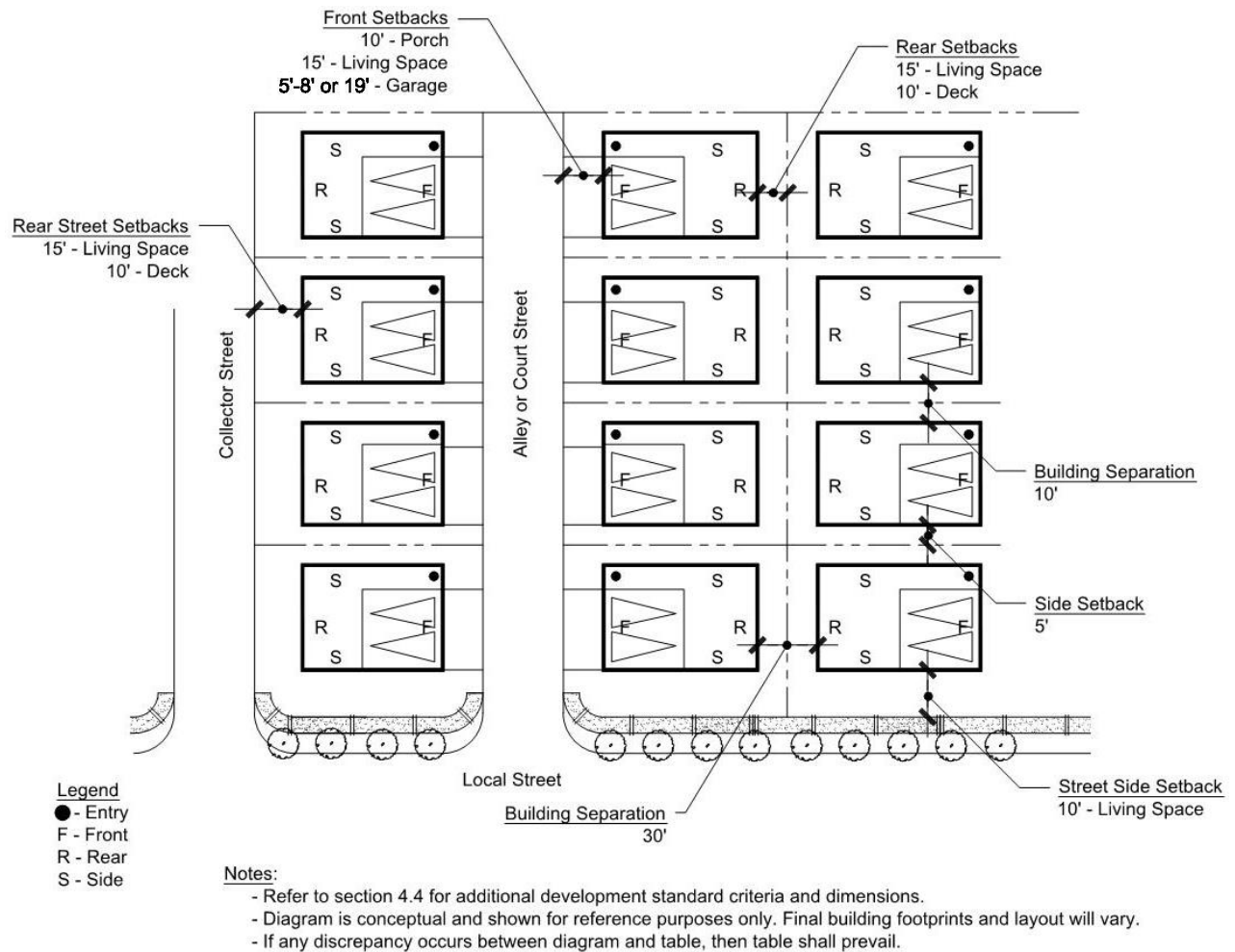


Figure 4-7 LDR Stub Street Court Cluster- Illustrative Plot

4.4.5 MEDIUM DENSITY RESIDENTIAL (MDR)

DESCRIPTION

The MDR residential use will include conventional single-family housing, detached cluster and duplex, row townhome and attached cluster. The areas designated Medium Density Residential on the current Specific Plan Land Use Plan consist of Planning Areas 7-A and 7-B, which are intended to include age-qualified housing and non-age-qualified housing.

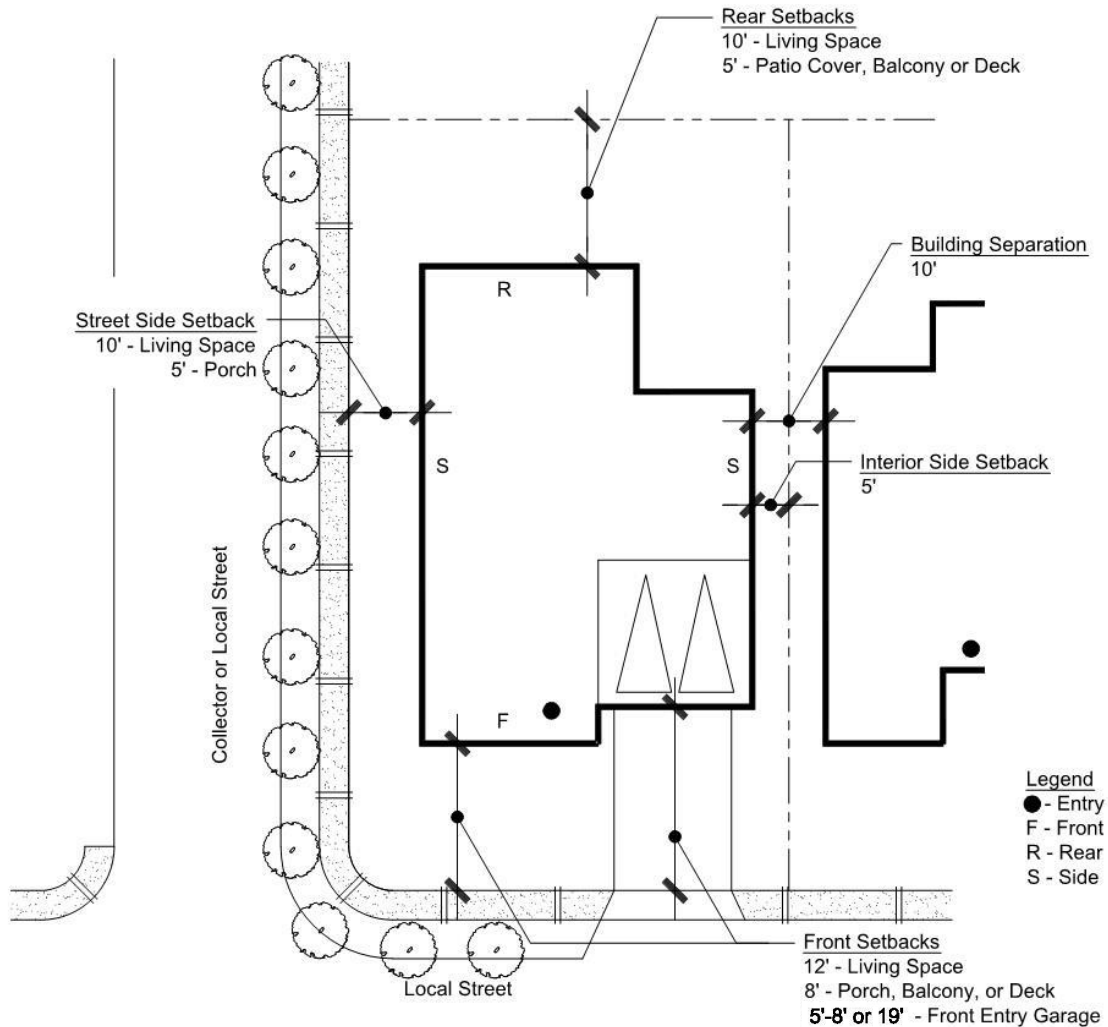
DEVELOPMENT STANDARDS

Table 4-12 standards are applicable to Medium Density Residential-designated Planning Areas 7-A and 7-B.

Table 4-12 below establishes standards for conventional single family detached products in Planning Areas 7-A and 7-B in the MDR designation.

Table 4-12: MDR Residential Uses Development Standards - SFR	
Maximum Density Range	6.1-12.0 du/ac
Minimum Lot Area	3,000 sq.ft.
Maximum Building Coverage	50% two-story; 70% one-story
Minimum Lot Width	
Interior	45'
Corner	50'
Maximum Building Height	
Main Structure	35'
Minimum Front Yard Setback (measured from the property line)	
Living Space	12'
Porch, Balcony or Deck	8'
Garage	5'-8' or 19'+ (cars may be parked on the driveways and they shall not hang over the sidewalks)
Minimum Side Yard Setback	
Interior	5'
Street	10' from living space to the street; 5' from Porch to the street
Minimum Rear Yard Setback	
Living Space	10'
Patio Cover, Balcony or Deck	5'
Garage	3'-8'
Projections into Setbacks	Per Section 4.3.8 of the Specific Plan

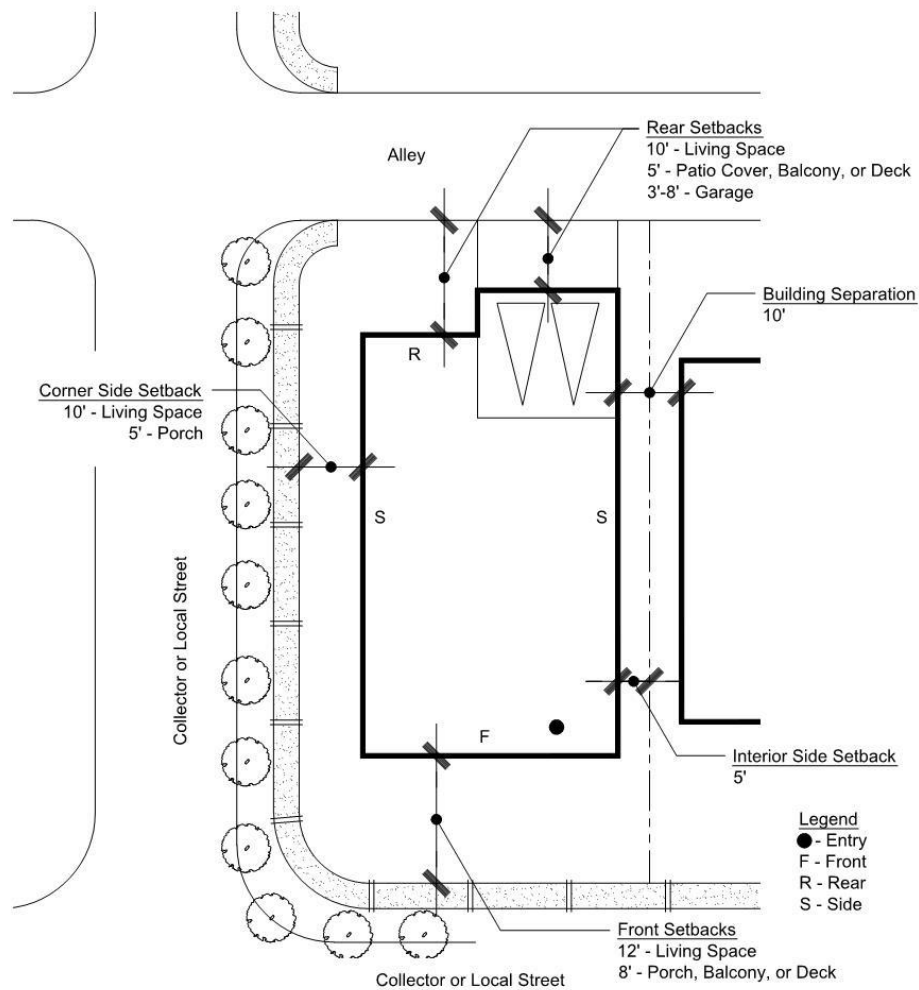
Table 4-12: MDR Residential Uses Development Standards – SFR (cont)	
Minimum Building Separation	
Side to Side	10'
Garage to Garage (alley loaded)	30'
Parking	
Resident	2 spaces per unit within a garage; 1 spaces per unit within a garage for Age Qualified (AQ) uses
Guest	Provided on driveway or street



Notes:

- Refer to section 4.4 for specific development standard criteria and dimensions.
- All front and corner side setbacks are measured from back of sidewalk, back of curb, or back of pavement if there is no curb or sidewalk. All other setbacks are measured from PL unless otherwise noted.

Figure 4-8 MDR Single Family Conventional- Illustrative Plot



Notes:

- Refer to section 4.4 for specific development standard criteria and dimensions.
- All front and corner side setbacks are measured from back of sidewalk, back of curb, or back of pavement if there is no curb or sidewalk. All other setbacks are measured from PL unless otherwise noted.

Figure 4-9 MDR Single Family Alley-loaded - Illustrative Plot

Table 4-13 below establishes standards for the Green Court Cluster product in Planning Areas 7-A and 7-B in the MDR designation.

Table 4-13: MDR Residential Uses Development Standards – Green Court Cluster	
Maximum Density Range	6.1-12.0 du/ac
Minimum Lot Area	2,800 square feet
Minimum Lot Width	40'
Minimum Lot Depth	70'
Minimum Common Open Space	150 sq.ft. per unit with a minimum 15' dimension
Minimum Private Open Space	150 square feet with a minimum 10' dimension
Maximum Building Height	
Main structure	35'
Front Yard	
Living - to the back of the green court	5'
Porch - to the back of the green court	5'
Street-side Yard Setback	
Living - (front entry) to back of sidewalk	10'
Side - to open space	5'
Porch - to back of sidewalk	5'
Rear Yard Setback - to alley edge	
Living	10'
Garage face to Alley (Apron)	3'
Living over garage	2' minimum, minimum 3' from a P/L, 3' maximum cantilever
Projections into Setbacks	Per Section 4.3.8 of the Specific Plan
Minimum Building Separation	
Front to front (entries) - at green court	30' (minimum 20' dimension for Green Court)
Side to side (no entries)	10'
2nd - story living rear to rear at alley	24'
Garage door to door at alley	30'
Parking	
Resident	2 spaces per unit within a garage; 1 spaces per unit within a garage for Age Qualified (AQ) uses
Guest	.33 spaces per unit

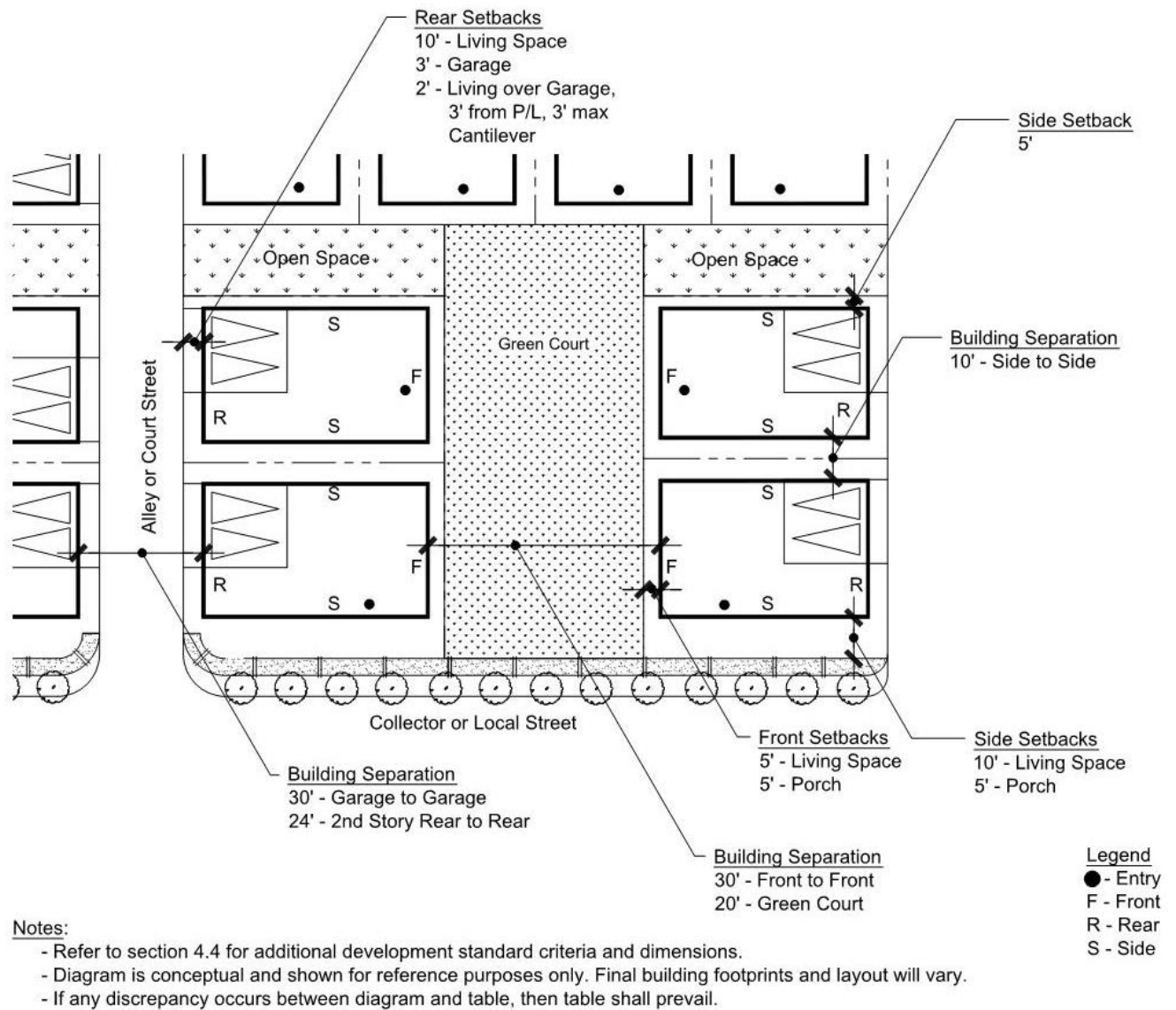
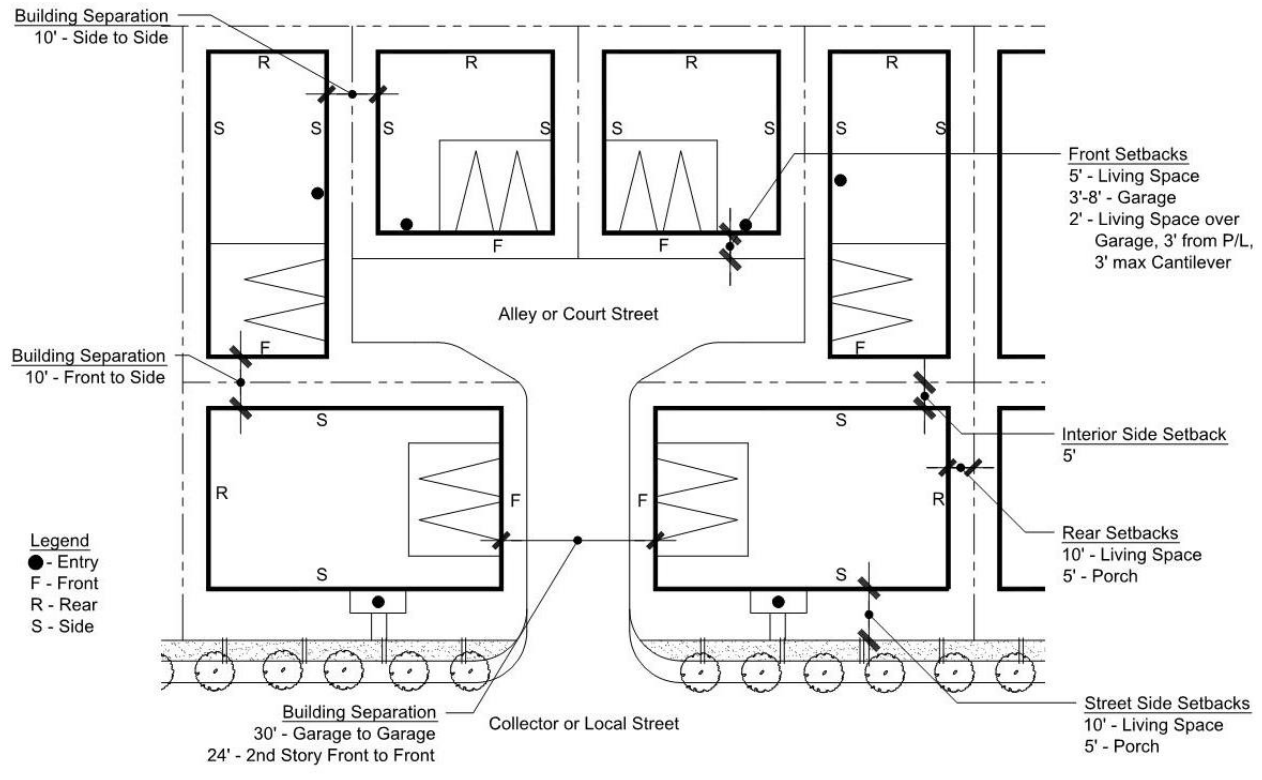


Figure 4-10 MDR Green Court Cluster - Illustrative Plot

Table 4-14 below establishes standards for the Motor Court Cluster product in Planning Areas 7-A and 7-B in the MDR designation.

Table 4-14: MDR Residential Uses Development Standards – Motor Court Cluster	
Maximum Density Range	6.1-12.0 du/ac
Minimum Lot Area	2,000 square feet
Minimum Lot Width	30'
Minimum Lot Depth	60'
Minimum Common Open Space	150 sq.ft. per unit with a minimum 15' dimension
Minimum Private Open Space	300 square feet with a minimum 10' dimension
Maximum Building Height	
Main structure	35'
Front Setback (From Alley or Court Street)	
Living	5'
Garage	3'-8'
Living over garage	2' minimum, minimum 3' from a P/L, 3' maximum cantilever
Street-side Yard Setback	
Living - to back of sidewalk	10'
Living - to P/L	5'
Porch - to back of sidewalk	5'
Rear Yard Setback - to P/L	
Living	10'
Porch	5'
Projections into Setbacks	Per Section 4.3.8 of the Specific Plan
Minimum Building Separation	
Front to side (no entries)	10'
Side to side (no entries)	10'
2nd - story front to front living	26'
Garage door to garage door	30'
Parking	
Resident	2 spaces per unit within a garage; 1 spaces per unit within a garage for Age Qualified (AQ) uses
Guest	.33 spaces per unit

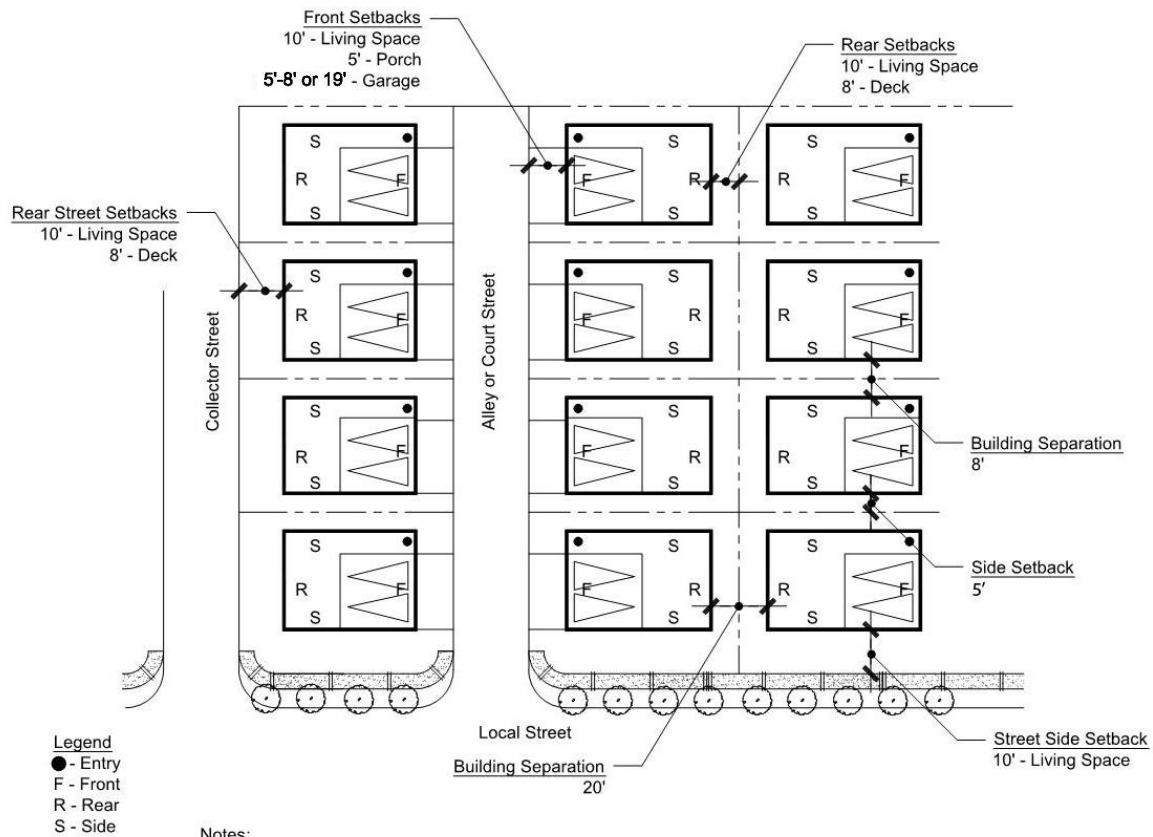


- Notes:**
- Refer to section 4.4 for additional development standard criteria and dimensions.
 - Diagram is conceptual and shown for reference purposes only. Final building footprints and layout will vary.
 - If any discrepancy occurs between diagram and table, then table shall prevail.

Figure 4-11 MDR Motor Court Cluster- Illustrative Plot

Table 4-15 below establishes standards for the Stub Street Court Cluster product in Planning Areas 7-A and 7-B in the MDR designation.

Table 4-15: MDR Residential Uses Development Standards – Stub Street Court Cluster	
Maximum Density Range	6.1-12.0 du/ac
Minimum Lot Area	2,200 square feet
Minimum Lot Width	40'
Minimum Lot Depth	55'
Minimum Common Open Space	150 sq.ft. per unit with a minimum 15' dimension
Minimum Private Open Space	300 square feet with a minimum 10' dimension
Maximum Building Height	
Main structure	35'
Front Setback - to alley	
Living	10'
Porch	5'
Garage	5'-8' or 19'+ (cars maybe parked on the driveways and they shall not hang over the sidewalks)
Side Yard Setback	
Interior	5'
Street	10'
Rear Yard Setback	
Interior	10' for living space, 8' for deck
Street	10' for living space, 8' for deck
Projections into Setbacks	Per Section 4.3.8 of the Specific Plan
Minimum Building Separation	
Building to building (side to side)	8'
Building to building (rear to rear)	20'
Parking	
Resident	2 spaces per unit within a garage; 1 spaces per unit within a garage for Age Qualified (AQ) uses
Guest	.33 spaces per unit



Notes:

- Refer to section 4.4 for additional development standard criteria and dimensions.
- Diagram is conceptual and shown for reference purposes only. Final building footprints and layout will vary.
- If any discrepancy occurs between diagram and table, then table shall prevail.

Figure 4-12 MDR Stub Street Court Cluster- Illustrative Plot

Table 4-16 below establishes standards for Duplex product in Planning Areas 7-A and 7-B in the MDR designation.

Table 4-16: MDR Residential Uses Development Standards – Duplex	
Maximum Density Range	6.1-12.0 du/ac
Minimum Lot Area	2,400 square feet
Minimum Lot Width	30'
Minimum Lot Depth	60'
Minimum Common Open Space	150 sq.ft. per unit with a minimum 15' dimension
Minimum Private Open Space	300 square feet with a minimum 10' dimension
Maximum Building Height	
Main structure	35'
Front Yard Setback	
Living - (front entry) to back of sidewalk	10'
Living - (front entry) to green court	5'
Porch	5'
Side Yard Setback	
to the P/L	7.5'
to the back of sidewalk	10'
Rear Yard Setback - to alley edge	
Living	10'
Garage face to Alley (Apron)	3'
Living over garage	2' minimum, minimum 3' from a P/L, 3' maximum cantilever
Projections into Setbacks	Per Section 4.3.8 of the Specific Plan
Minimum Building Separation	
Front to front (entries) - at green court	20'
Side to side (no entries)	15'
Garage door to door at alley	30'
Parking	
Resident	2 spaces per unit within a garage; 1 spaces per unit within a garage for Age Qualified (AQ) uses
Guest	.33 spaces per unit

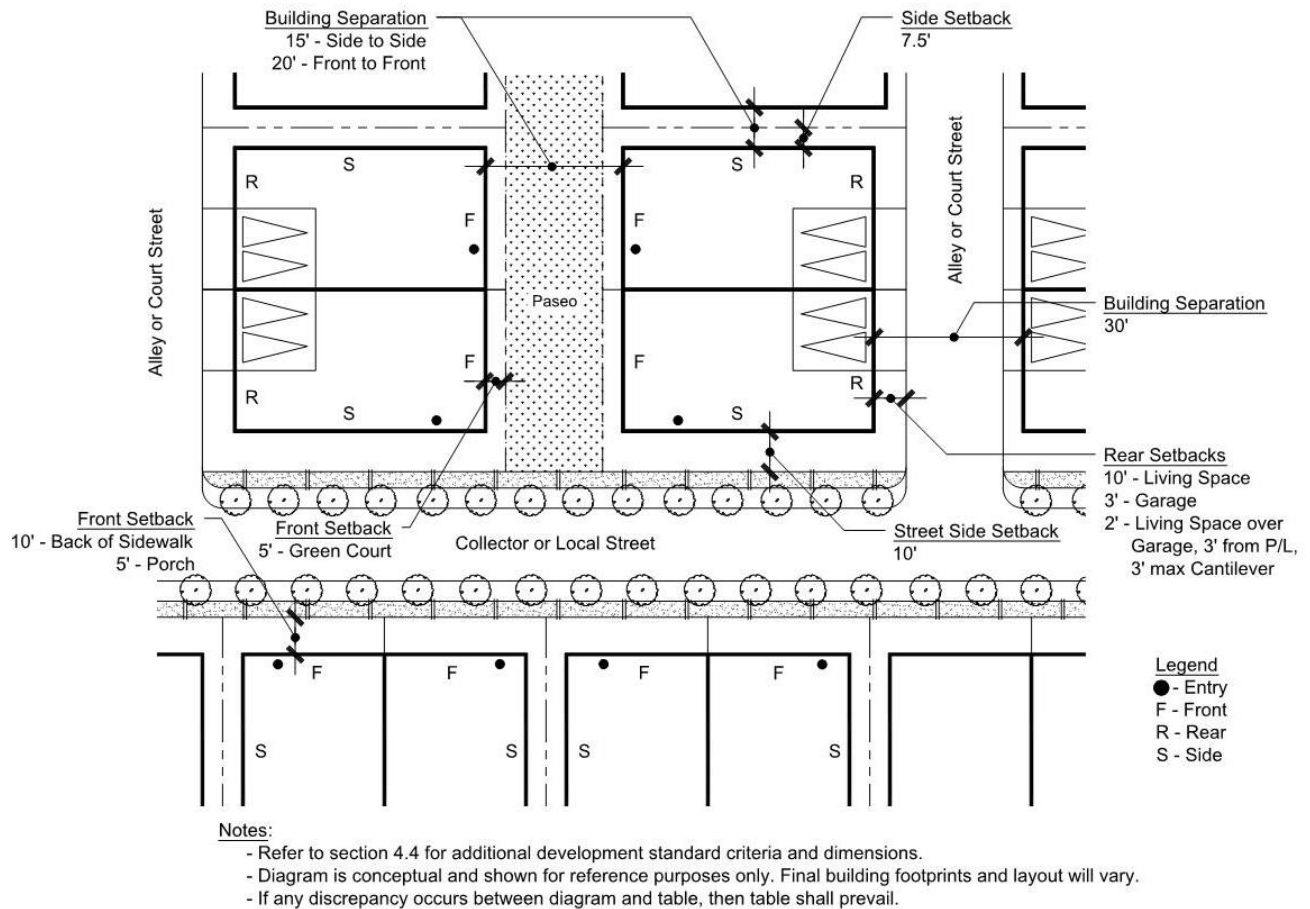
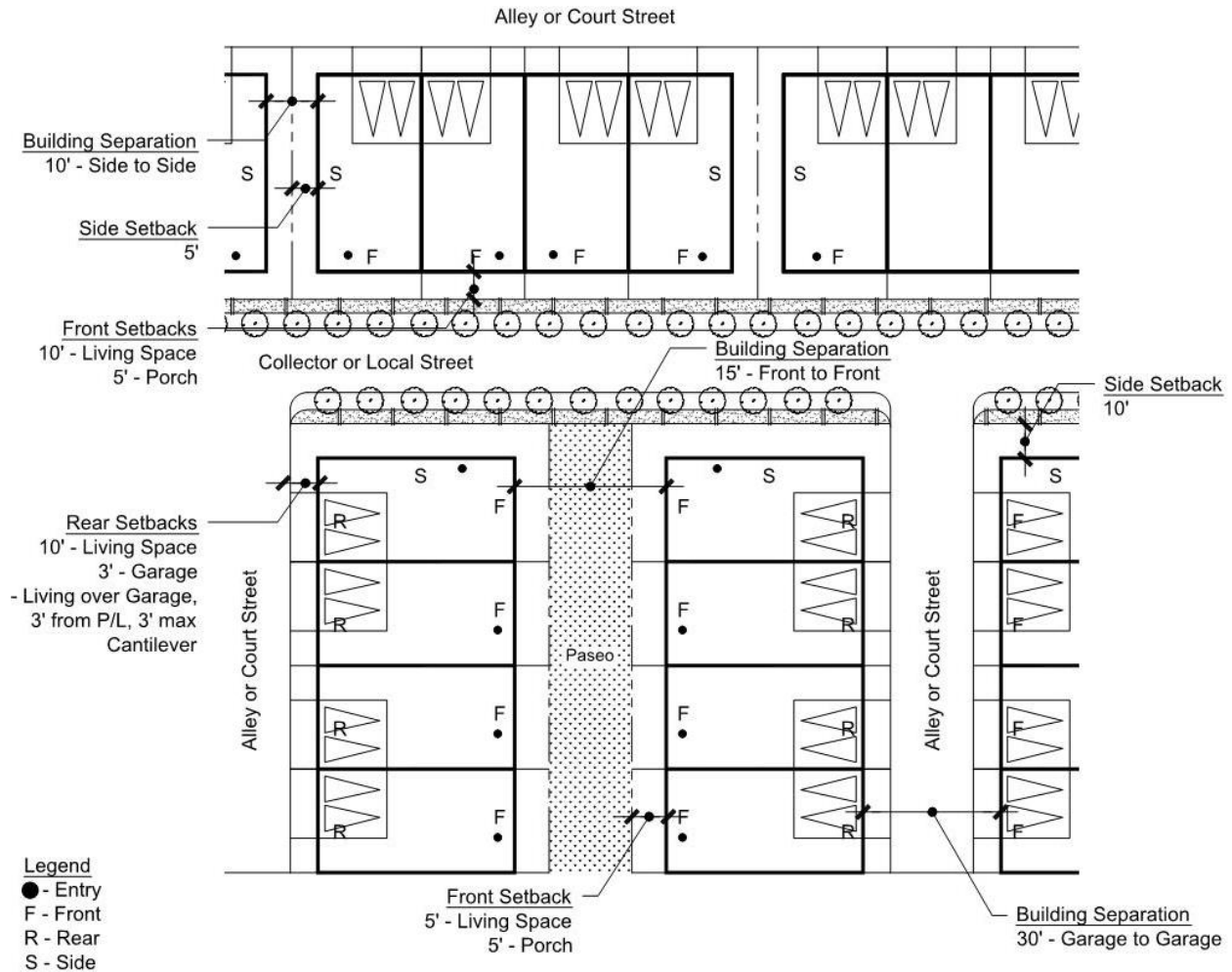


Figure 4-13 MDR Duplex- Illustrative Plot

Table 4-17 below establishes standards for Townhome product in Planning Areas 7-A and 7-B in the MDR designation.

Table 4-17: MDR Residential Uses Development Standards – Townhome	
Maximum Density Range	6.1-12.0 du/ac
Minimum Lot Area	2,400 square feet
Minimum Lot Width	21'
Minimum Lot Depth	60'
Minimum Common Open Space	150 sq.ft. per unit with a minimum 15' dimension
Minimum Private Open Space	300 square feet with a minimum 10' dimension
Maximum Building Height	
Main structure	35'
Front Yard Setback	
Living - (front entry) to back of sidewalk	10'
Living - (front entry) to green court	5'
Porch	5'
Side Yard Setback	
Living to the P/L	5'
Living to the back of sidewalk	10'
Rear Yard Setback - to alley edge	
Living	10'
Garage face to Alley (Apron)	3'
Living over garage	2' minimum, minimum 3' from a P/L, 3' maximum cantilever
Projections into Setbacks	Per Section 4.3.8 of the Specific Plan
Minimum Building Separation	
Front to front (entries) - at green court	15'
Side to side (no entries)	10'
Garage door to door at alley	30'
Parking	
Resident	2 spaces per unit within a garage; 1 spaces per unit within a garage for Age Qualified (AQ) uses
Guest	.33 spaces per unit



Notes:

- Refer to section 4.4 for additional development standard criteria and dimensions.
- Diagram is conceptual and shown for reference purposes only. Final building footprints and layout will vary.
- If any discrepancy occurs between diagram and table, then table shall prevail.

Figure 4-14 MDR Townhome - Illustrative Plot

Table 4-18 below establishes standards for Attached Cluster product in Planning Areas 7-A and 7-B in the MDR designation.

Table 4-18: MDR Residential Development Standards – Attached Cluster	
Maximum Density Range	6.1-12.0
Maximum Building Coverage	55%
Maximum Building Height	35'
Minimum Common Open Space	150 sq.ft. per unit with a minimum 15' dimension
Minimum Private Open Space	300 sq.ft. per unit with a minimum 10' dimension
Street Side Yard Setback	
Living - to back of sidewalk	10'
Porch - to back of sidewalk	5'
Rear to Alley edge Setback	
Living over garage at alley	3' maximum cantilever, w/minimum 3' from all P/L
Garage to Alley (Apron)	3'
Minimum Building Separation	
Living front to front (entries)	20'
Living side to side (no entries)	15'
Living front to side (entries)	15'
Opposing porches, balconies, courtyard walls	10'
Garage door to garage door at alley	30'
Parking	
Resident	2 spaces per unit within a garage; 1 spaces per unit within a garage for Age Qualified (AQ) uses
Guest	0.33 space per unit

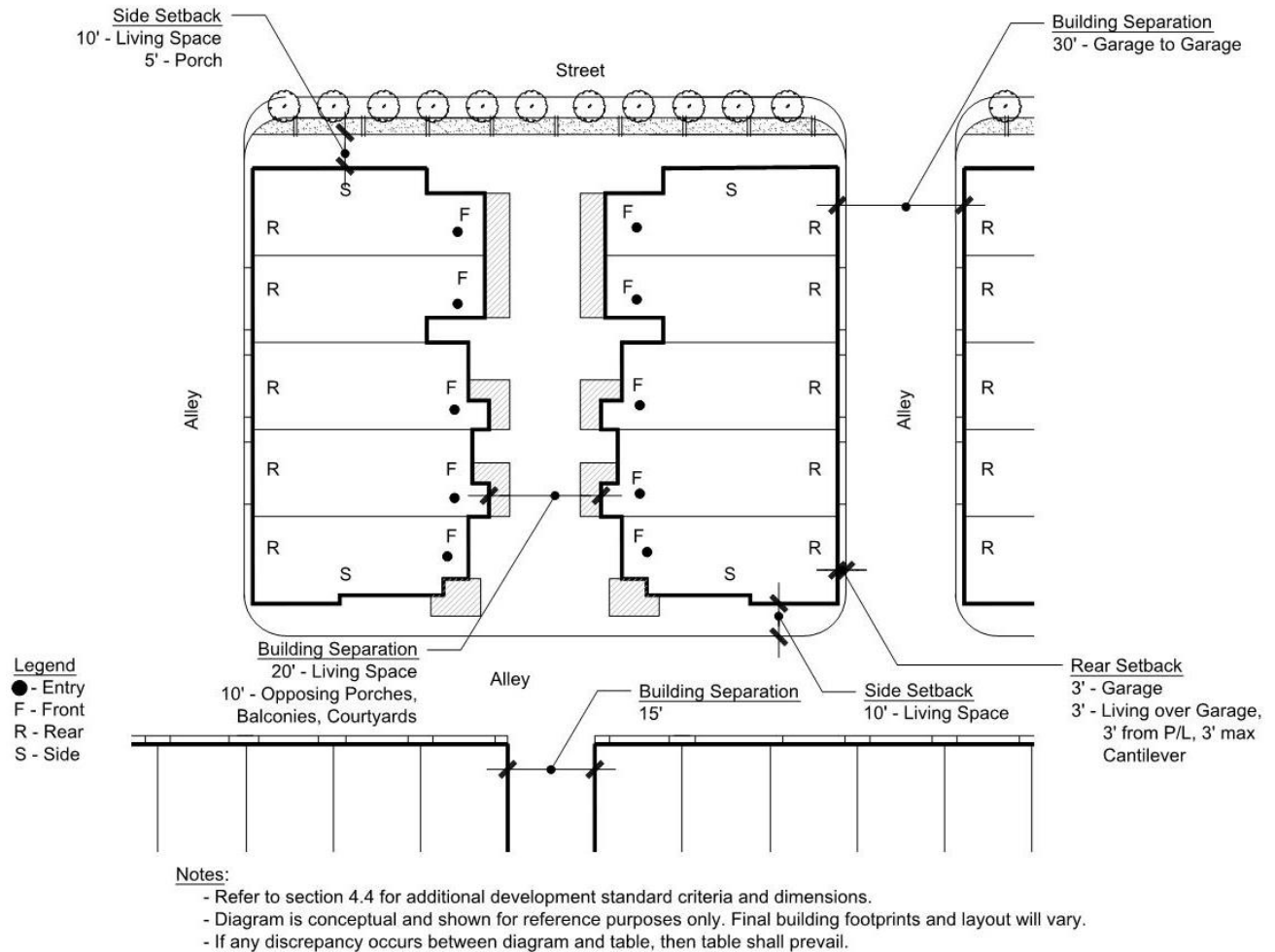


Figure 4-15 MDR Attached Cluster - Illustrative Plot

4.4.6 MEDIUM-HIGH DENSITY RESIDENTIAL (MHDR)

DESCRIPTION

The MHDR residential use will include duplex, row townhome, attached cluster and multi-family flat. The areas designated Medium-High Density Residential on the current Specific Plan Land Use Plan consist of Planning Areas 8-A, 8-B, 8-C and 8-D, and the alternative Planning Area 9 residential overlay if it is not developed as commercial.

DEVELOPMENT STANDARDS

Table 4-19 below establishes standards for the Duplex product in Planning Areas 8-A, 8-B, 8-C and 8-D, and the alternative Planning Area 9 residential overlay if it is not developed as commercial.

Table 4-19: MHDR Residential Uses Development Standards – Duplex	
Maximum Density Range	12.1-18.0 du/ac
Minimum Lot Area	1,500 square feet
Minimum Lot Width	27'
Minimum Lot Depth	50'
Minimum Common Open Space	150 sq.ft. per unit with a minimum 15' dimension
Minimum Private Open Space	200 sq.ft. per unit with a minimum 10' dimension
Maximum Building Height	
Main structure	45'
Minimum Setbacks	
Front Yard Setback	
Living - (front entry) to back of sidewalk	10'
Living - (front entry) to green court	5'
Porch	5'
Side Yard Setback	
to the P/L	5'
to the back of sidewalk	10'
Rear Yard Setback - to alley edge	
Living	10'

Table 4-19: MHDR Residential Uses Development Standards – Duplex (cont.)	
Garage face to Alley (Apron)	3'
Living over garage	minimum 3' from a P/L, 3' maximum cantilever
Projections into Setbacks	Per Section 4.3.8 of the Specific Plan
Minimum Building Separation	
Front to front (entries) - at green court	20'
Side to side (no entries)	10'
Garage door to door at alley	30'
Parking	
Resident	1 space per 1 bedroom unit, 2 spaces per 2 or more bedroom units (1 space must be within a garage or carport)
Guest	0.5 space per unit

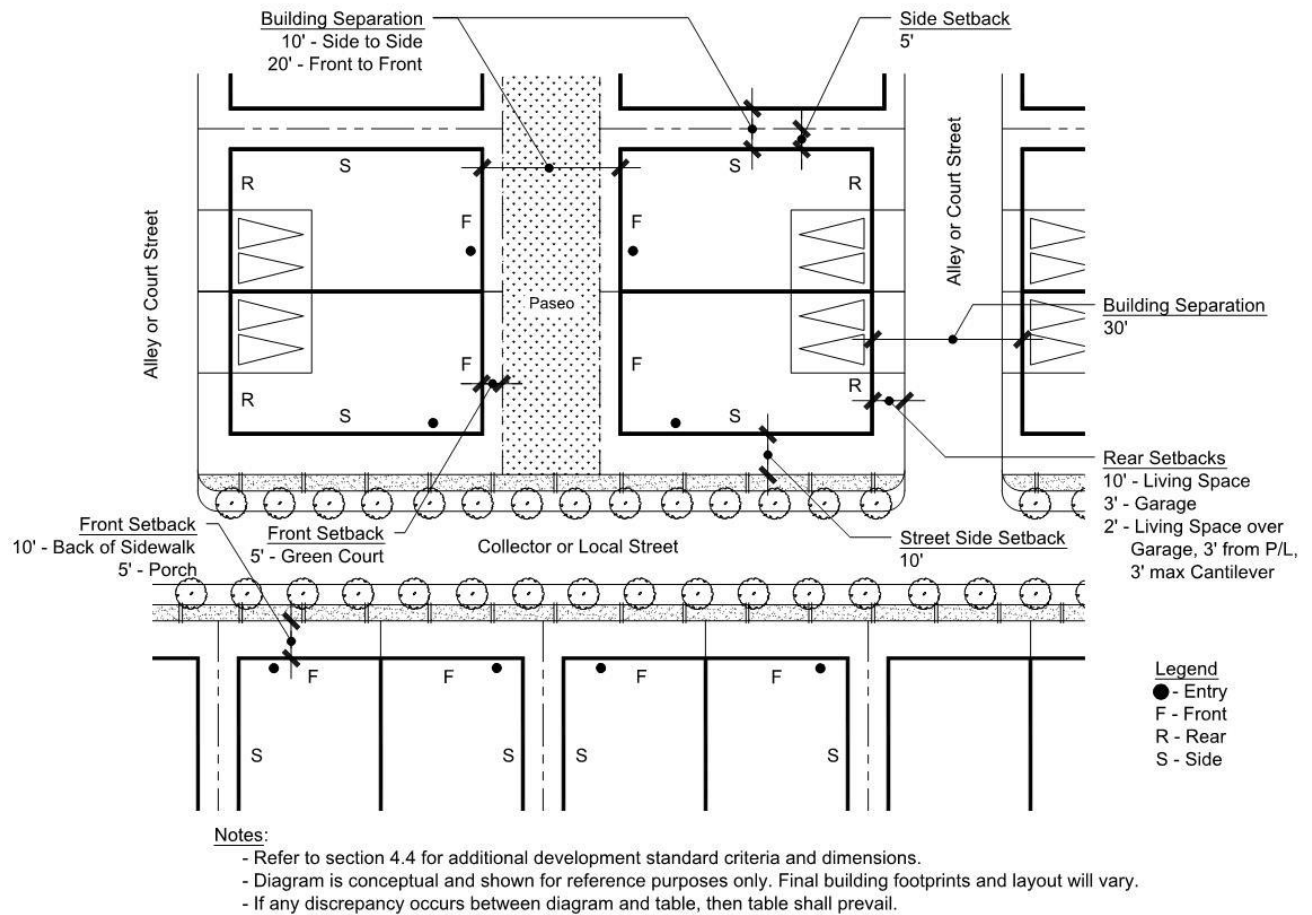


Figure 4-16 MHDR Duplex - Illustrative Plot

Table 4-20 below establishes standards for the Townhome product in Planning Areas 8-A, 8-B, 8-C and 8-D, and the alternative Planning Area 9 residential overlay if it is not developed as commercial.

Table 4-20: MHDR Residential Uses Development Standards – Townhome	
Maximum Density Range	12.1-18.0 du/ac
Minimum Lot Area	1,500 square feet
Minimum Lot Width	21'
Minimum Lot Depth	50'
Minimum Common Open Space	150 sq.ft. per unit with a minimum 15" dimension
Minimum Private Open Space	200 sq.ft. per unit with a minimum 10' dimension
Maximum Building Height	
Main structure	45'
Front Yard Setback	
Living - (front entry) to back of sidewalk	10'
Living - (front entry) to green court	5'
Porch	5'
Side Yard Setback	
Living to the P/L	5'
Living to the back of sidewalk	10'
Rear Yard Setback - to alley edge	
Living	10'
Garage face to Alley (Apron)	3'
Living over garage	2' minimum, minimum 3' from a P/L, 3' maximum cantilever
Projections into Setbacks	Per Section 4.3.8 of the Specific Plan
Minimum Building Separation	
Front to front (entries) - at green court	15'
Side to side (no entries)	10'
Garage door to door at alley	30'
Parking	
Resident	1 space per 1 bedroom unit, 2 spaces per 2 or more bedroom units (1 space must be within a garage or carport)
Guest	0.5 space per unit

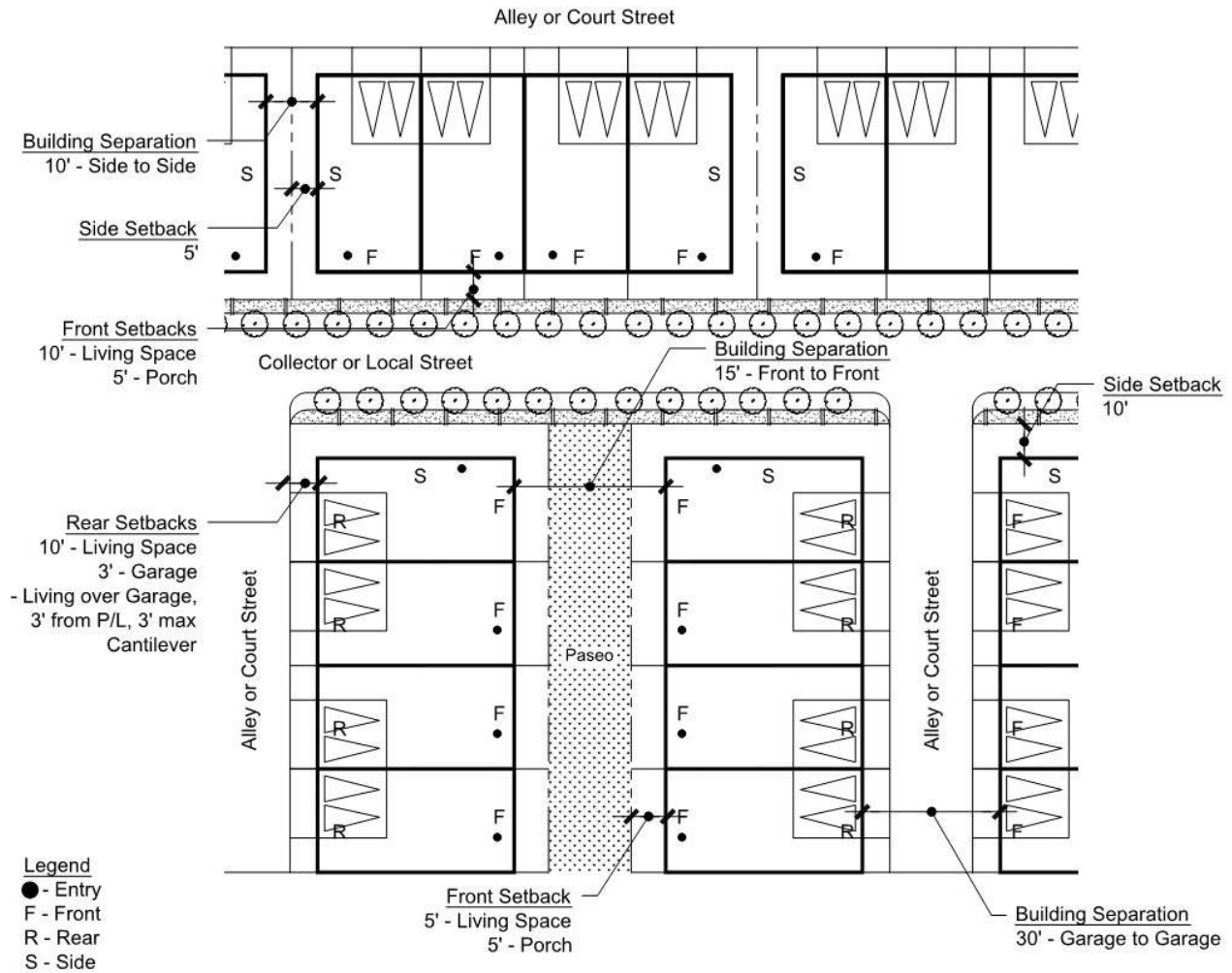


Figure 4-17 MHDR Townhome - Illustrative Plot

Table 4-21 below establishes standards for the Attached Cluster product in Planning Areas 8-A, 8-B, 8-C and 8-D, and the alternative Planning Area 9 residential overlay if it is not developed as commercial.

Table 4-21: MHDR Residential Development Standards – Attached Cluster	
Maximum Density Range	12.1-18.0
Maximum Building Coverage	55%
Maximum Building Height	45'
Minimum Common Open Space	150 sq.ft. per unit with a minimum 15' dimension
Minimum Private Open Space	200 sq.ft. per unit with a minimum 10' dimension
Street Side Yard Setback	
Living - to back of sidewalk	10'
Porch - to back of sidewalk	5'
Rear to Alley edge Setback	
Living over garage at alley	3' maximum cantilever, w/minimum 3' from all P/L
Garage to Alley (Apron)	3'
Minimum Building Separation	
Living front to front (entries)	20'
Living side to side (no entries)	15'
Living front to side (entries)	15'
Opposing porches, balconies, courtyard walls	10'
Garage door to garage door at alley	30'
Parking	
Resident	1 space per 1 bedroom unit, 2 spaces per 2 or more bedroom units (1 space must be within a garage or carport)
Guest	0.5 space per unit

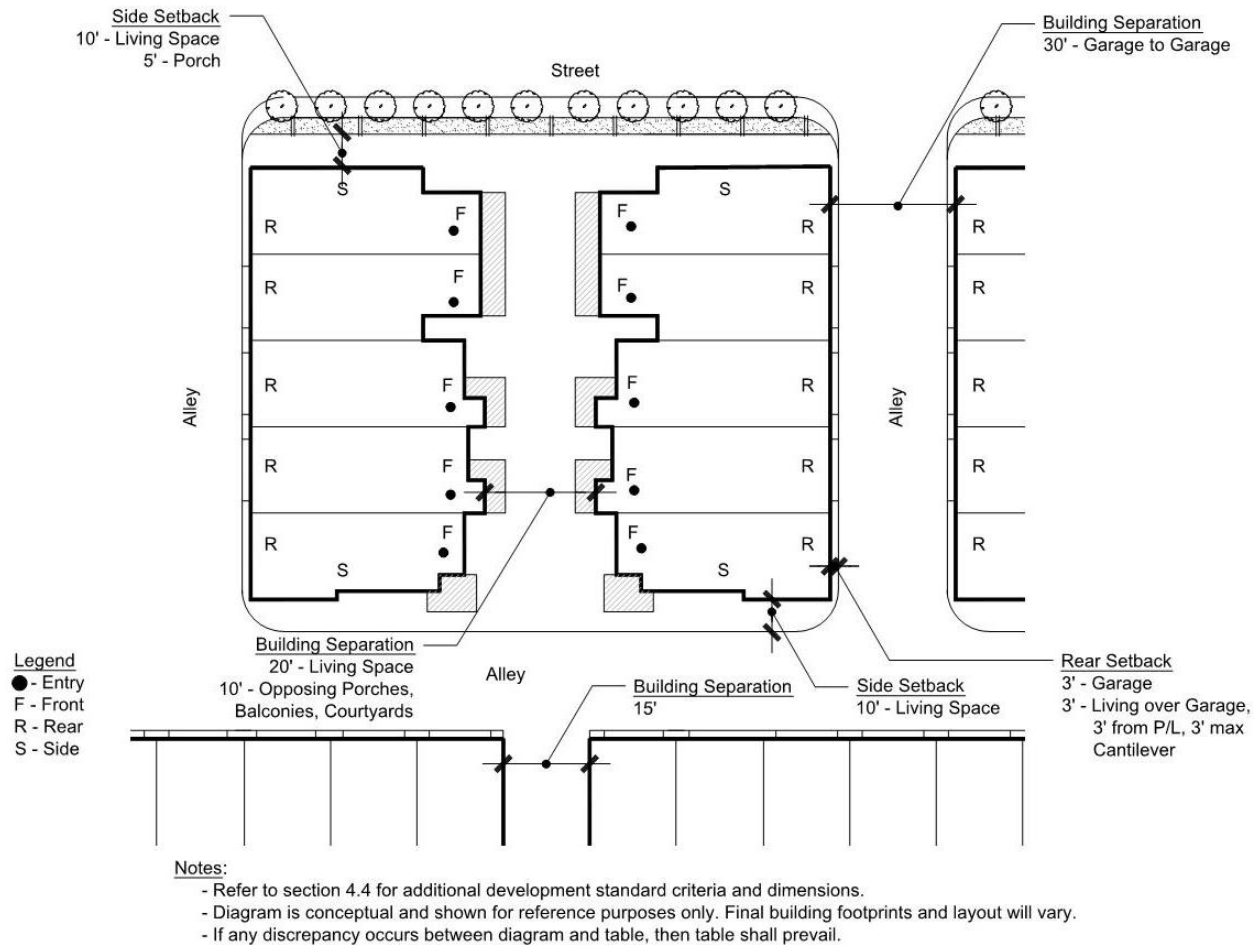
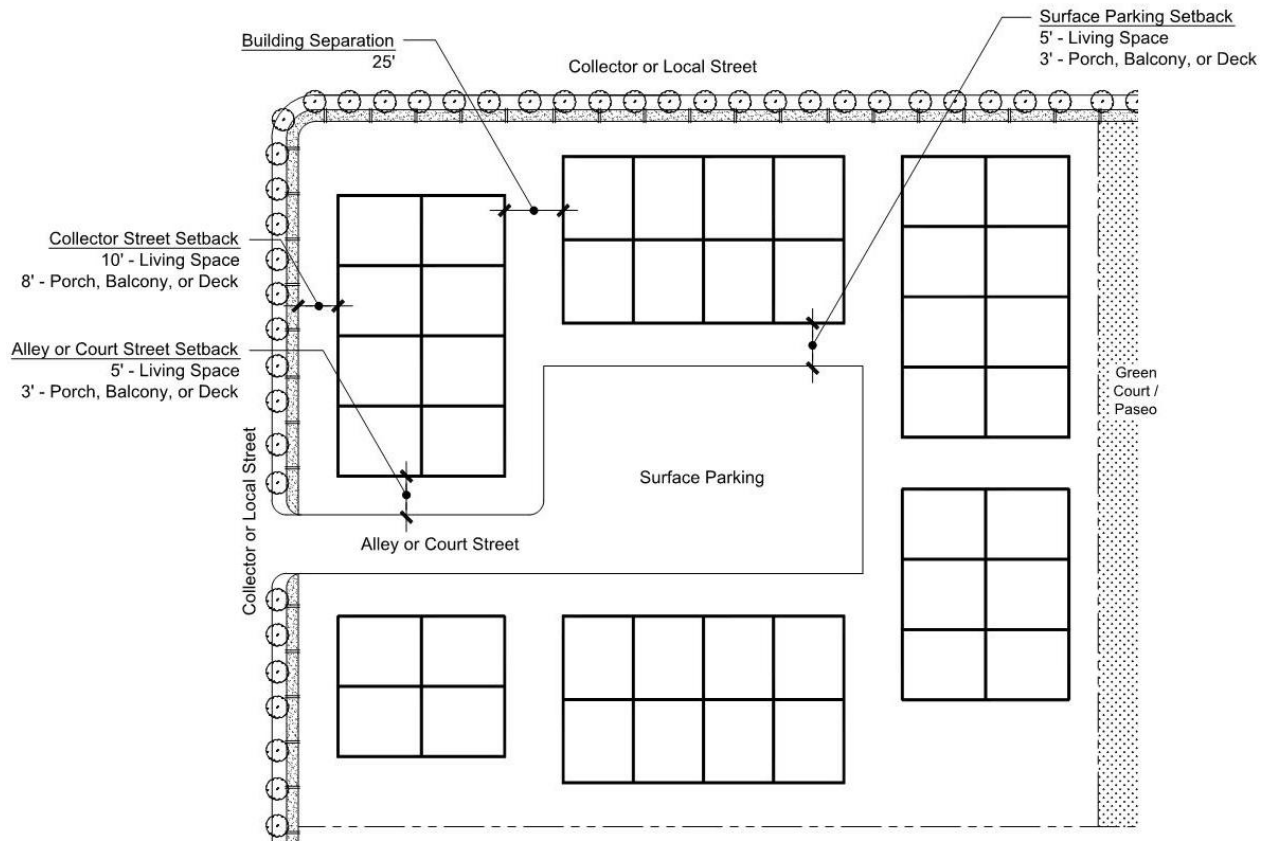


Figure 4-18 MHDR Attached Cluster- Typically Illustrative Plot

Table 4-22 below establishes standards for the Multi-family Flat product in Planning Areas 8-A, 8-B, 8-C and 8-D, and the alternative Planning Area 9 residential overlay if it is not developed as commercial.

Table 4-22: MHDR Residential Development Standards - Flat	
Maximum Density Range	12.1-18.0
Maximum Building Coverage	55%
Maximum Building Height	45'
Minimum Common Open Space	150 sq.ft. per unit with a minimum 15' dimension
Minimum Private Open Space	200 sq.ft. per unit with a minimum 10' dimension
Minimum Building Setback from Collector or Local Street (measured from the property line)	
Living Space	10'
Porch, Balcony or Deck	8'
Minimum Building Setback from Alley or Court Street	
Living Space	5'
Porch, Balcony or Deck	3'
Minimum Building Setback from Surface Parking	
Living Space	5'
Porch, Balcony or Deck	3'
Minimum Building Separation	
Building to Building	25'
Parking	
Resident	1 space per 1 bedroom unit, 2 spaces per 2 or more bedroom units (1 space must be within a garage or carport)
Guest	0.5 space per unit



Notes:

- Refer to section 4.4 for additional development standard criteria and dimensions.
- Diagram is conceptual and shown for reference purposes only. Final building footprints and layout will vary.
- If any discrepancy occurs between diagram and table, then table shall prevail.

Figure 4-19 MHDR Flat - Illustrative Plot

4.5 NEIGHBORHOOD COMMERCIAL DEVELOPMENT STANDARDS

DESCRIPTION

The Neighborhood Commercial (NC) land use within Planning Area 9 provides a location for businesses that meet day-to-day shopping and service needs of the residential use. NC uses are typically anchored by a grocery store but may also provide an array of retail and service commercial uses, such as pharmacies, cleaners, etc.

4.5.1 PERMITTED USES

Within the RSG Specific Plan, 9 acres have been designated for Neighborhood Commercial use in Planning Area 9. Table 4-23, Neighborhood Commercial Permitted, Conditional, and Prohibited Land Uses, summarizes potential land uses to be developed within this designation which are permitted by right or which may be conditionally permitted.

Land uses permitted with the Neighborhood Commercial Planning Area 9 shall be permitted in accordance with the following use standards and the development standard provisions above in Section 4.5.1. Application for approval of conditional uses shall be submitted to and analyzed by the City of Banning Planning Division to assure that the application is consistent with the intent of the RSG Specific Plan. A conditional use permit, if required, shall be subject to the provisions of the Banning Zoning Ordinance.

Table 4-23: Neighborhood Commercial Permitted, Conditional, and Prohibited Land Uses	
Uses	Commercial PA 9
Recreation / Education / Public Assembly Uses	
Adult entertainment	X
Adult day care facilities	C
Billiard parlors/pool halls	X
Churches	C
Community centers	P
Convention facilities	X
Day Care Centers	C

Table 4-23: Neighborhood Commercial Permitted, Conditional, and Prohibited Land Uses (cont.)

Uses	Commercial PA 9
Health/fitness facilities	P
Indoor recreation centers	P
Libraries	P
Membership organization facilities	X
Museums	P
Outdoor commercial recreation	P
Public parks and playgrounds	P
Recreational vehicle (RV) parks	X
Recreational vehicle (RV) storage	C
Schools	P
Sport facilities and outdoor public assembly	C
Studios for dance, art, music, photography	P
Theatres and meeting halls	P
Retail Uses	
Accessory retail uses	P
Alcoholic Beverage Sales, on- or off-site	C
Antique stores	P
Art Galleries	P
Mobile home & motor vehicle sales, new	X
Mobile home & motor vehicle sales, new & used	X
Bakeries, retail	P
Bars and drinking establishments	C
Building material stores	X
Certified farmers' markets	T
Convenience Stores	C
Convenience Stores, no liquor sales	P
Department stores	P
Drive-in and drive-through sales	C
Drug stores	P
Farm and ranch supply stores	P
Furniture, furnishings, home equipment stores	P
Gift shops	P

Table 4-23: Neighborhood Commercial Permitted, Conditional, and Prohibited Land Uses (cont.)

Uses	Commercial PA 9
Grocery stores, retail butchers and greengrocers	P
Hardware/lumber stores	P
Liquor stores (off-site consumption)	C
Outdoor retail merchandise display/activities	C
Outdoor retail sales, temporary	T
Pawn shops	X
Pet stores and grooming	P
Restaurants, no beer, wine or liquor sales	P
Restaurants, serving beer, wine or liquor	C
Restaurants, drive-in, take-out, fast food	C
Retail stores, general merchandise	P
Second hand/thrift stores	X
Video rental stores	P
Warehouse or club stores	P
Resource and Open Space Uses	
Plant nurseries, with on-site sales	C
Plant nurseries, without on-site sales	X
Cargo/Storage Containers	X
Services	
Freestanding ATM Machines	P
Banks and financial establishments/services	P
Barber Shops and Beauty Shops	P
Bed and breakfast establishments	X
Business support/secretarial services	P
Car wash	C
Columbarium and mortuaries	X
Construction storage (indoor &/or outdoor)	X
Drive-in and drive-through services	C
Dry cleaning, retail	P
Equipment rental yards	X
Government offices	P
Hotels and motels	X

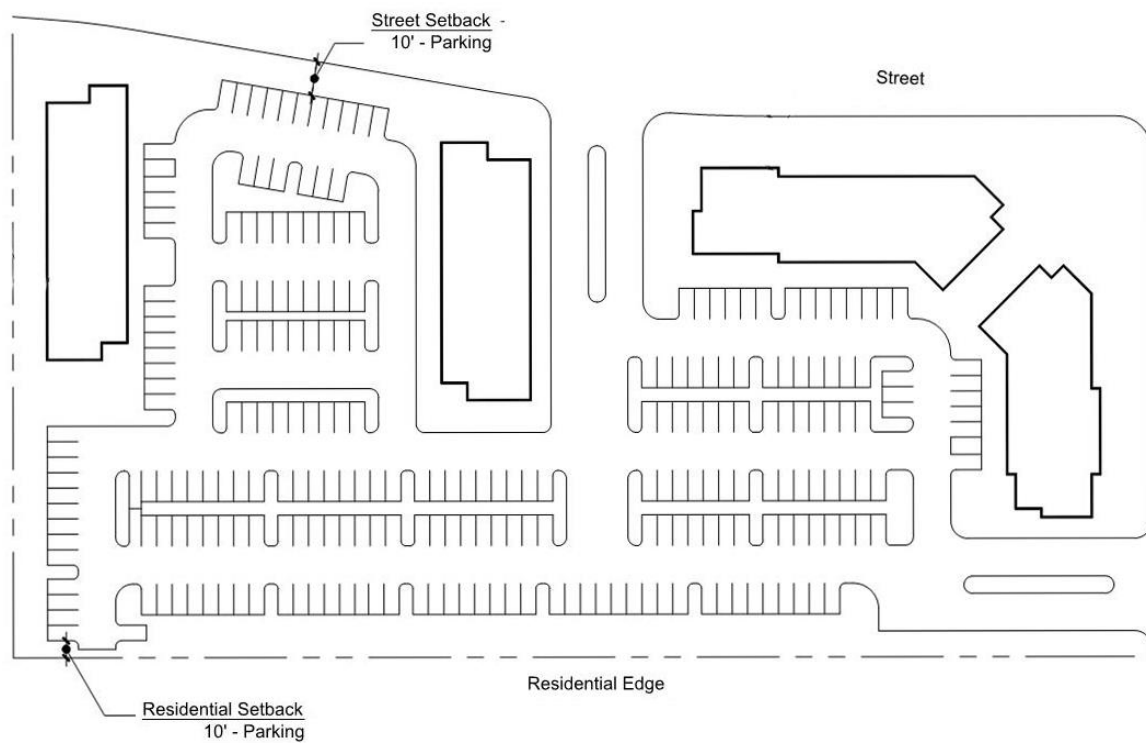
Table 4-23: Neighborhood Commercial Permitted, Conditional, and Prohibited Land Uses (cont.)

Uses	Commercial PA 9
Vehicle fueling/service stations (gas & electric)	C
Public utility and safety facilities	P
Real estate offices	P
Repair/maintenance of consumer products	P
Repair and maintenance of motor vehicles	X
Research and development facilities	P
Storage, accessory, including self-storage	C
Veterinary clinics, animal hospitals, grooming	C
Other Uses	
Public Utility Facilities	P
Fire Stations	P
Telecommunications Antennae/Towers	C
Day Care Centers	C
Group Homes	X
Social Service Agency Offices	X
Rooftop Solar Energy/Water Heating Panels	P
Electric/Natural Gas Vehicle Fueling Station (ancillary use)	P
Temporary Uses ³	T
NOTES: ¹ Use Code = Permitted (P); Subject to Conditional Use Permit (C); Prohibited (X) and Temporary (T). ² Parking requirements for commercial and/or other uses may be determined through a parking demand study provided in connection with processing a development application(s) to approve particular uses for implementation on each of these sites. ³ Temporary uses require a Temporary Use Permit, subject to the requirements of Chapter 17.108 of the Banning Zoning Ordinance, as modified by this Specific Plan.	

4.5.2 DEVELOPMENT STANDARDS

Neighborhood Commercial standards are applicable to Planning Area 9.

Table 4-24: Neighborhood Commercial Development Standards	
Maximum Intensity	0.25 (FAR)
Maximum Building Height	50'
Minimum Setback from the edge of the residential	
Building	20'
Parking	10'
Minimum Setback from the back of the sidewalk	
Building	20'
Parking	10'
Parking	Per Chapter 17.28, Parking and Loading Standards, of the Banning Zoning Ordinance



Notes:

- Refer to section 4.4 for additional development standard criteria and dimensions.
- Diagram is conceptual and shown for reference purposes only. Final building footprints and layout will vary.
- If any discrepancy occurs between diagram and table, then table shall prevail.

Figure 4-20 Neighborhood Commercial – Illustrative Plot

4.6 RESIDENTIAL OVERLAY DEVELOPMENT STANDARDS

The development standards for the alternative Residential Overlay on Planning Area 9 shall be the same as the standards for the Medium-High Density Residential (MHDR) land use under section 4.4.6. The development standards for the alternative Residential Overlay on Planning Area 16-C shall be the same as the standards for the Low Density Residential (LDR) land use under section 4.4.4.

4.7 PARKS / RECREATION USE STANDARDS

This use is designated in Planning Areas 10, 11, 12, and 13 and includes the Community, Confluence, Neighborhood, and Entry Parks respectively as proposed in the Specific Plan area. These parks are located throughout the Specific Plan as shown on Exhibit 3-17, Parks Plan. Recreation uses in all parks may be active or passive in nature.

4.7.1 PERMITTED USES

Park and recreation uses as described in Section 2.8, *Parks, Recreation and Open Space Plan*, and Section 3.3.7, *Parks and Recreation Areas*, of this Specific Plan, shall be considered permitted uses in Planning Areas 10, 11, 12, and 13 as noted. In addition, Exhibits 3-18, 3-19, 3-20 and 3-21 depict and list the permitted uses. Table 4-25 below further provides a listing of permitted and conditionally permitted uses in the Specific Plan park areas.

Table 4-25: Parks/Recreation Permitted, Conditional, and Prohibited Land Uses				
Land Uses	Community Park – PA 10	Confluence Park – PA 11	Neighborhood Park – PA 12	Entry Park PA 13
Recreational Uses				
Clubhouses	P	X	X	X
Community Centers	P	X	X	X
Interpretive or Visitor Information Kiosks and Displays	P	P	P	P
Playgrounds with shelters	P	P	P	P
Picnic Areas with shelters	P	P	P	P

**Table 4-25: Parks/Recreation Permitted, Conditional,
and Prohibited Land Uses (cont.)**

Equipment/Maintenance Buildings	P	P	P	P
Restroom Facilities	P	P	P	X
Amphitheaters	P	P	P	X
Community Gardens	P	P	P	P
Trails (including pedestrian, bike and equestrian)	P	P	P	P
Passive Open Space	P	P	P	P
Habitat Conservation Areas	P	P	P	P
Parks, Sports Courts and Fields	P	P	P	X
Equestrian Facilities (including staging areas, corrals, arenas, stables)	P	X	X	X
Equestrian Corrals and Rest Areas Only	P	P	P	P
Commercial Recreation Facilities	X	X	X	X
Other Uses				
Administrative Offices	P	X	X	X
Restrooms	P	P	P	X
Fire Stations	P	P	P	X
Parking	P	P	P	X
Telecommunications Antennae/Towers	C	X	X	X
Concessions	C	X	X	X
Day Care Centers	C	X	X	X
Banquet Facilities / Rental Halls	C	X	X	X
Swimming Pool	P	X	X	X
Water Features	P	P	P	P
Rooftop Solar Energy/Heating Panels	P	P	P	P
Electric Vehicle Fueling Stations	P	P	P	X
Locally Adaptive Farming	C	X	X	P
Grazing of Animals	P	X	X	X
Stormwater and Water Quality Basins and Swales	P	P	P	P
Identification Signage	P	P	P	P
Development Entry/Identification Monumentation	P	X	X	P
Utility facilities	P	P	P	P
NOTES:				
¹ Use Code = Permitted (P); Subject to Conditional Use Permit (C); Prohibited (X) and Temporary (T).				

4.7.2 DEVELOPMENT STANDARDS

Community recreation allows for recreational uses including clubhouses, community centers, restroom facilities, and other recreational structures that may be found in a park or community recreation complex. The design of these recreation facilities will be compatible with the surrounding residential character and are considered to be the cornerstone of the community. The standards found in Table 4-26, *Community Recreation Standards*, below shall be applied to buildings to be erected in Planning Areas 10, 11, 12, & 13. Landscaping provided to accompany community recreation facilities will be governed by Chapter 3.0, *Design Guidelines*, of the RSG Specific Plan.

Table 4-26: Community Recreation Standards	
Category	Standard
Minimum Setbacks	
Front Setback	
Parking	10'
Building	20'
Side Yard	
Parking	10'
Building	20'
Street Side Yard	
Parking	10'
Building	20'
Rear	
Parking	10'
Building	20'
Maximum Building Height	
Main Structure	35'
Others	
Lot Coverage by Building	35%
Parking	To be determined through a parking demand study provided during development review.

4.8 OPEN SPACE STANDARDS

The Open Space land use designations are intended to establish open space areas for passive recreation and to provide protection from environmental hazards. The Open Space Land Use designations include Planning Areas 14-A, B, C and D, which are the Village Paseo areas, Planning Areas 15-A and B, which are the Creeks and Creek Edge Linear Park areas, and Planning Area 17, which is a Natural Open Space area.

4.8.1 PERMITTED USES

Passive open space uses as described in Section 2.8, *Parks, Recreation and Open Space Plan*, Section 3.3.5, *Village Paseo/Easements*, and Section 3.3.6, *Creeks and Creek Edge Linear Parks and Natural Open Space*, of this Specific Plan, shall be considered permitted uses in Planning Areas 14-A through D, 15-A and B, and Planning Area 17 as noted. In addition, Exhibits 3-13, 3-14, 3-15 and 3-16 depict permitted uses. Table 4-27 below further provides a listing of permitted and conditionally permitted uses in the Specific Plan open space areas.

Table 4-27: Passive Recreational Open Space Permitted, Conditional, and Prohibited Land Uses		
Land Uses	Village Paseos PAs 14-A, B, C & D	Creeks/Creek Edge Linear Parks PAs 15-A & B and PA 17
Recreational Uses		
Interpretive or Visitor Information Kiosks and Displays	P	P
Playgrounds	X	X
Picnic Areas	P	P
Restroom Facilities	X	X
Trails	P	P
Community Gardens	P	X
Passive Open Space	P	P
Habitat Conservation Areas	P	P
Sports Courts and Fields	X	X
Other Uses		
Water Facilities	P	P

**Table 4-27: Passive Recreational Open Space Permitted, Conditional,
and Prohibited Land Uses (cont.)**

Telecommunications Antennae/Towers	C	X
Plant Nurseries and Agriculture	C	C
Grazing of Animals	C	C
Stormwater and Water Quality Basins and Swales	P	P
Utilities	P	P
Identification Signage (not in PA 17)	P	P
NOTES:		
¹ Use Code = Permitted (P); Subject to Conditional Use Permit (C); Prohibited (X) and Temporary (T).		

4.8.2 DEVELOPMENT STANDARDS

These passive open space uses shall be substantially developed and landscaped as described in Section 2.8, *Parks, Recreation and Open Space Plan*, and in the design guidelines included in Section 3.3.5, *Village Paseo/Easements*, and Section 3.3.6, *Creeks and Creek Edge Linear Parks*, of this Specific Plan. In addition, Exhibits 3-13, 3-14, 3-15 and 3-16 depict development guidelines for these areas.

4.9 PARKING

4.9.1 PARKING REQUIREMENTS

Parking within the RSG Specific Plan shall generally conform to the requirements of the Banning Zoning Code Section 17.28, except as specified herein. Parking design and accessible parking and loading requirements shall be governed by Section 17.28. The development standards contained above for the various land uses allowed in the Specific Plan provide listed requirements for number of parking spaces required for each use, where applicable.

4.10 SIGNAGE

Signage within the RSG Specific Plan shall generally conform to the requirements of the Banning Zoning Code Section 17.36, except as allowed and specified herein, including except for those monument signs specifically identified in Section 3, *Design Guidelines*. A specific comprehensive sign program, including sign guidelines and standards for the RSG Specific Plan, may be submitted at a later time for the review and approval of the City of Banning Community Development Director or designee.